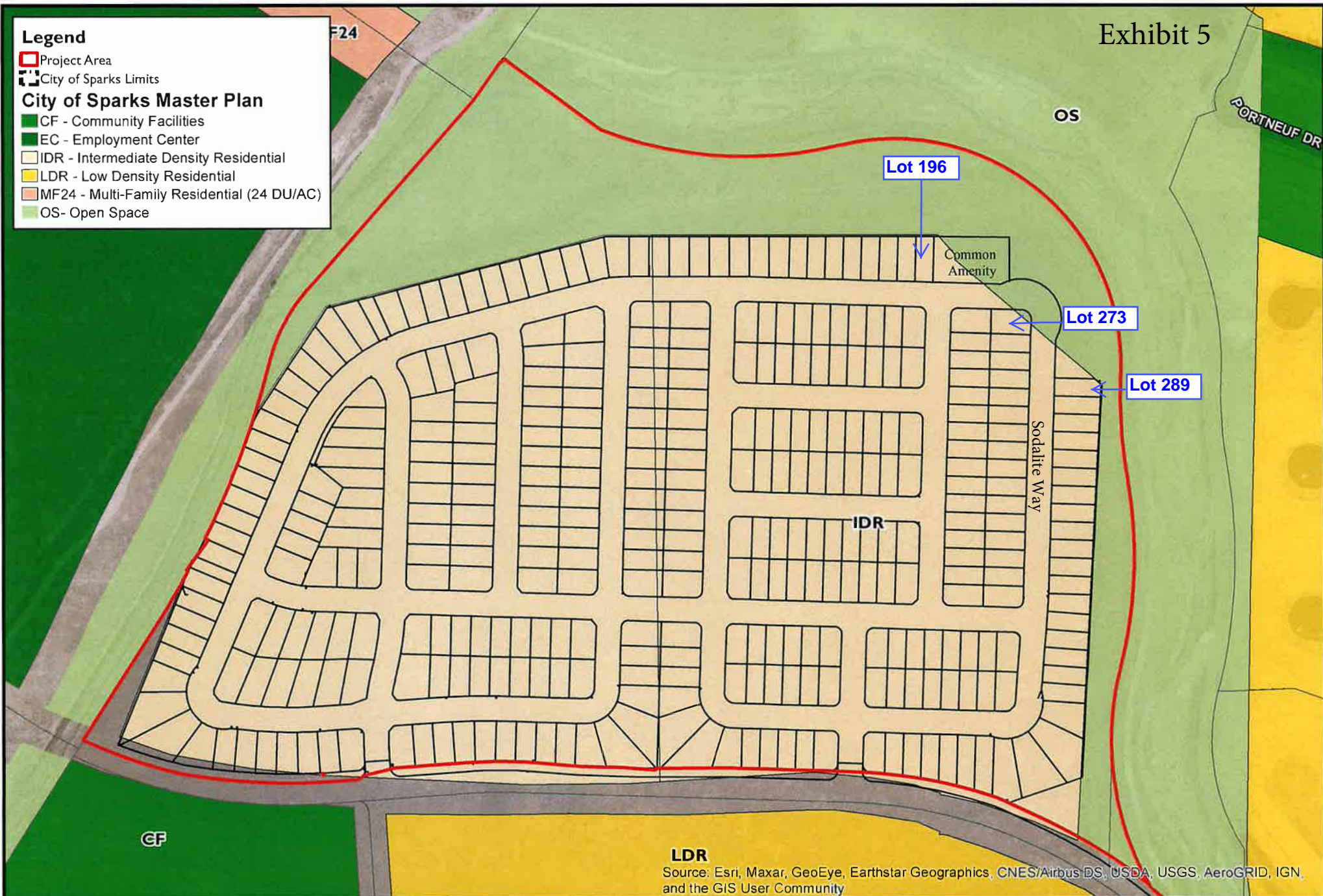


Legend

- Project Area
- City of Sparks Limits
- City of Sparks Master Plan
 - CF - Community Facilities
 - EC - Employment Center
 - IDR - Intermediate Density Residential
 - LDR - Low Density Residential
 - MF24 - Multi-Family Residential (24 DU/AC)
 - OS - Open Space

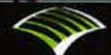


LDR
 Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

Land Use

Stonebrook Phase 3 Village AA and BB

December 2020



WOOD RODGERS
 BUILDING RELATIONSHIPS ONE PROJECT AT A TIME
 1361 Corporate Boulevard
 Reno, NV 89502
 Tel: 775.823.4068
 Fax: 775.823.4068

Deviations/Waivers: All requests by an applicant for waivers or deviations from the standards or requirements contained in the Handbook must be approved by the SAC PRIOR to submittal to the City of Sparks for their review and approval.

Deviations/Waivers Approval Procedures and Parameters: The Administrator shall have the authority to process and approve deviations and waivers from these standards consistent with City Code and the Handbook in effect at the time of the request.

Appeals: Any aggrieved party may appeal the decision of the Administrator to the Planning Commission or other body designated by the City of Sparks, and the decision of the Planning Commission to the City Council pursuant to the current provisions of the Code.

2.1.5 City Review

The developer shall submit the final hydrology report and final sewer report, for review and approval by the City Manager and the Administrator with the submittal of the first final map. Each final map submittal shall include civil improvements plans that include all open space, trail/pathways, and streetscape improvements, internal or adjacent to the area being final mapped in accordance with Sparks Municipal Code and the Handbook.

All development plans to establish new construction and building expansion as defined in the appropriate land use section, will require Administrative Review and/or Conditional Use Permit (when applicable) by the City of Sparks, as defined in the description of land uses in Chapters 4 through 7.

2.1.6 Stonebrook Architectural Committee - SAC

The SAC for Stonebrook shall be a committee comprised of at least three individuals who are owners, tenants, or occupants of projects located within Stonebrook, or their designated representatives. The SAC shall be created by the grantor CC&R's for the Planned Development.

The SAC shall employ the services of a Nevada licensed architect, landscape architect, engineer, or other professional(s) to advise the SAC, as warranted by the SAC.

2.2 Individual Project Approval Process

2.2.1 General Provisions

Prior to development of an Individual Project within the Stonebrook Planned Development, such Individual Project shall be reviewed to determine that it meets and conforms with the standards and guidelines of the Handbook, following the plan review approval process set forth in this Section 2.2. In addition, Individual Projects requiring a Conditional Use Permit must adhere to the normal Sparks Conditional Use Permit process; provided that the application for a Conditional Use Permit may be processed concurrently with the Tentative Map, or Administrative Review for the Phase in which the Individual Project is located and/or the review process set forth in this Section 2.2. and illustrated in **Exhibit 2-1**.

A developer or builder of an Individual Project is referred to hereinafter as the "Project Applicant". Prior to submitting plans for an individual Project to the City for review and approval, a Project Applicant shall first obtain approval of the plans from the Stonebrook Architectural Committee (the SAC), pursuant to a review and certification process set forth in covenants and conditions recorded by the Master Developer that encumber the entirety of Stonebrook ("Stonebrook Covenants"). After obtaining such certification, the plans shall be submitted to the City for Tentative Map, Administrative Review or other actions to

assure that each Individual Project meets or exceeds the Development Standards and fits within the Design Parameters established by this Handbook.

With regard to all determinations made by the City under this Section 2.2, the City may grant a deviation of up to twenty percent (20%) from the standards and guidelines in the Handbook without conducting a hearing as long as such deviation will not impair the purpose of the Handbook (each a "Minor Deviation" as defined in SMC 20.07.020). Adjustments to the boundaries of such land use designations due to changes in the locations of streets dividing two such designations shall not constitute a relocation of a land use designation.

Approval of the plans for an Individual Project may be sought either after final handbook approval of the Phase in which the Individual Project is located, or concurrently with the final handbook approval process; provided, however, that in no event shall the Tentative Map or Administrative Review be completed prior to completion for the final handbook approval process. In the event of any conflict between the process set forth in this Handbook and any other review process used by the City, this Handbook shall control. Where this Handbook is silent on a particular approval procedure, the Sparks Municipal Code or other regulations governing development of land in effect at the time shall prevail.

Applications for commercial and residential Individual Projects are subject to different approval processes and are addressed separately in the following sections. For definition purposes, an "Individual Residential Project" is defined as one that is built as "for sale" residential housing, whether attached or detached; an "Individual Commercial Project" is defined as one that involves commercial, office/business park and multi-family "for rent" projects.

2.2.2 Individual Commercial Project Administrative Review Approval

All new building construction requires a site plan review, provided that some construction must first be authorized by a Conditional Use Permit, colored architectural elevations (all 4 sides) shall be reviewed by the Planning Commission as a business item simultaneously with Administrative review. The review process for Individual Commercial Projects consists of three distinct, but interrelated phases:

- 1) The first phase is the pre-application process. It is during this phase that a Project Applicant becomes familiar with the application requirements and obtains feedback on preliminary design ideas from the SAC and the city.
- 2) The second phase is the SAC review/certification process.
- 3) The third phase consists of the City's process for approving the Individual Commercial Project, including a Conditional Use Permit approval, if applicable. Here the City will make its determination as to whether the Project meets and conforms to the standards set forth in this Handbook.

The Project Applicant shall become familiar with the City's review process and application requirements.

2.2.3 At the time of original handbook approval, all existing businesses must comply with City of Sparks Codes and Ordinances.

2.2.4 Residential Project Approval Process

Like the review process for Individual Commercial Projects, the review process for Individual Residential Projects includes review by both the SAC and the City of Sparks. In addition, the review



November 11, 2020

Stacie Huggins
Wood Rodgers, Inc.
1361 Corporate Boulevard
Reno, NV 89502

Trip Generation Letter – Stonebrook Villages AA, BB, & CC

Dear Ms. Huggins,

This letter provides trip generation estimates for Stonebrook Villages AA, BB, & CC and a comparison of the project status to the handbook approved build-out of the Stonebrook PUD in Sparks, NV. The following is a list of the villages included in this analysis:

- ▶ Phase 1 – Villages A-1, B-1, B-2, C, D
- ▶ Phase 2 – Villages E, F, G1, G2
- ▶ Stonebrook West – Villages DD, EE1, EE2
- ▶ Village AA
- ▶ Village BB
- ▶ Village CC

These villages represent all single-family unit areas in the handbook. The master land use plan is shown in **Figure 1**. The overall lot layout for Villages AA and BB are shown in **Attachment A** and the overall lot layout for Village CC is shown in **Attachment B**.

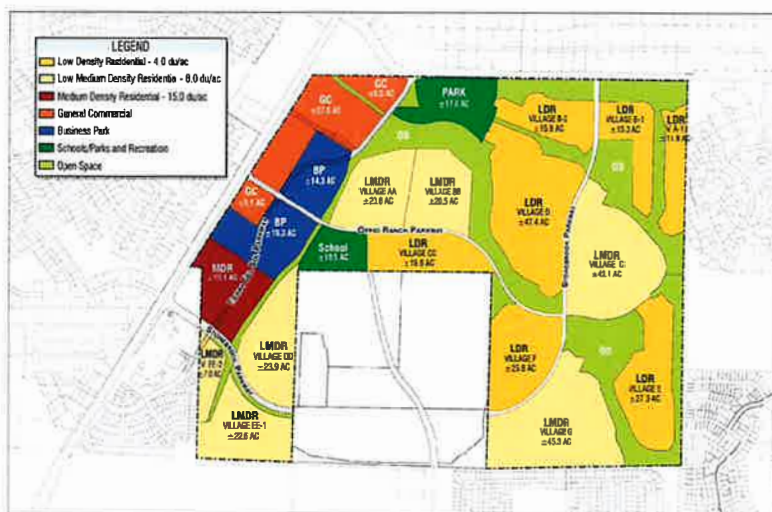


Figure 1. Stonebrook Land Use Map

Headway Transportation, LLC
5482 Longley Lane, Suite B, Reno, Nevada 89511
775.322.4300
www.HeadwayTransportation.com

Proposed Land Use

The project to date consists of the following:

- ▶ Phase 1 (Villages A-1, B-1, B-2, C, D) – 603 Single Family Units
- ▶ Phase 2 (Villages E, F, G1, G2) – 489 Single Family Units
- ▶ Stonebrook West (Villages DD, EE1, EE2) – 182 Single Family Units
- ▶ Village AA – 192 Single Family Units
- ▶ Village BB – 164 Single Family Attached (Duplex) Units
- ▶ Village CC – 73 Single Family Units

The proposed Stonebrook Villages AA, BB, and CC consists of up to 429 single-family units and the entire Stonebrook PUD is now anticipated to include 1,703 single-family residential lots.

Trip Generation Estimates

Trip generation estimates were calculated based on standard trip rates presented in the Institute of Transportation Engineer's (ITE) *Trip Generation Manual, 10th Edition*. **Table 1** shows the Daily, AM peak hour, and PM peak hour trip generation estimates for the project.

Table 1. Proposed Project Trip Generation Estimates

Village	# of Units	Weekday	AM Peak Hour			PM Peak Hour		
			Total	Entry	Exit	Total	Entry	Exit
Phase 1 (Villages A-1, B-1, B-2, C, D)	603	5,430	433	108	325	570	359	211
Phase 2 (Villages E, F, G1, G2)	489	4,478	352	88	264	466	294	172
Stonebrook West (Villages DD, EE1, EE2)	182	1,804	134	35	107	181	120	71
Village AA	192	1,895	141	35	106	190	120	70
Village BB	164	1,639	121	30	91	163	103	60
Village CC	73	778	57	14	43	75	47	28
Total	1,703	16,025	1,238	309	929	1,645	1,037	608

Notes: Trip generation rates were calculated based on the Fitted Curve Equations for the ITE Land Use 210 – Single-Family Detached Housing

Source: Headway Transportation, 2020

As shown in the table, with addition of Villages AA, BB, and CC, the proposed Stonebrook PUD is anticipated to generate approximately 16,025 Daily trips, 1,238 AM peak hour trips, and 1,645 PM peak hour trips.

Consistency with Master Traffic Study / PUD Handbook

The *Stonebrook Phase 2, Trip Generation Letter* (Solaegui Engineers LTD, 2020) states that the Stonebrook Handbook and corresponding traffic study include 1,935 single-family residential lots. The traffic study



anticipated that the approved Stonebrook Handbook would generate approximately 15,874 Daily trips, 1,379 AM peak hour trips, and 1,746 PM peak hour trips. **Table 2** shows the trip generation comparison between the Stonebrook Handbook and the current Stonebrook PUD estimates.

Table 2. Trip Generation Comparison

Scenario	Planned Units	Weekday	AM Peak Hour	PM Peak Hour
			Total	Total
Stonebrook Masterplan	1,935	15,874	1,379	1,746
Proposed Stonebrook	1,703	16,025	1,238	1,645
Difference	-232	+151	-141	-101

As shown in **Table 2**, the proposed Stonebrook villages are lower than the approved unit count within the Stonebrook Handbook. Therefore, the proposed project is anticipated to generate less traffic and is expected to result in less impact on regional and local roads than what was anticipated when the mitigation measures were established.

Summary

The approved Stonebrook Handbook included 1,935 single-family residential lots and was anticipated to generate a total of 15,874 Daily trips, 1,379 AM peak hour trips, and 1,746 PM peak hour trips. With Villages AA, BB, and CC, the proposed Stonebrook PUD will consist of up to 1,703 single-family residential lots and is anticipated to generate approximately 16,025 Daily trips, 1,238 AM peak hour trips, and 1,645 PM peak hour trips. The current lot count is beneath what was assumed in the Stonebrook Masterplan and no new impacts would result.

Stonebrook Villages AA, BB, and CC are in conformance with the trip generation allowed by the approved PUD Handbook.

Please do not hesitate to contact us at (775) 322-4300 with any questions.

Sincerely,
Headway Transportation, LLC

Loren E. Chilson, PE
Principal



Attachments:

- Attachment A – Villages AA, BB, and CC Overall Lot Layout
- Attachment B – Village CC Overall Lot Layout



STONEBROOK VILLAGES AA/BB SPARKS, NEVADA NOVEMBER 2020



PROJECT NOTES

SITE INFORMATION:

TOTAL NUMBER OF LOTS = 356
TOTAL SITE AREA = 52,03 AC
TOTAL LOT AREA = 11,50 AC
TOTAL LOT AREA = 11,50 AC
COMMON AREA = 11,57 AC

PROJECT DENSITY:

6.055 DENSITY = 6.8

ASSESSOR PARCEL NUMBER:

528-030-58

PATIO HOMES:

528-030-58

LOT SUMMARY:

MINIMUM LOT SIZE = 3,200 SQ. FT.
MAXIMUM LOT SIZE = 8,104 SQ. FT.
AVERAGE LOT SIZE = 3,759 SQ. FT.
MINIMUM ALLOWABLE LOT SIZE = 3,200 SQ. FT.

LDNR LOT REQUIREMENTS:

INTERIOR MINIMUM = 3,200 SQ. FT.
LOT WIDTH MINIMUM = 40 FT.
LOT DEPTH MINIMUM = 60 FT.

TOWNHOMES:

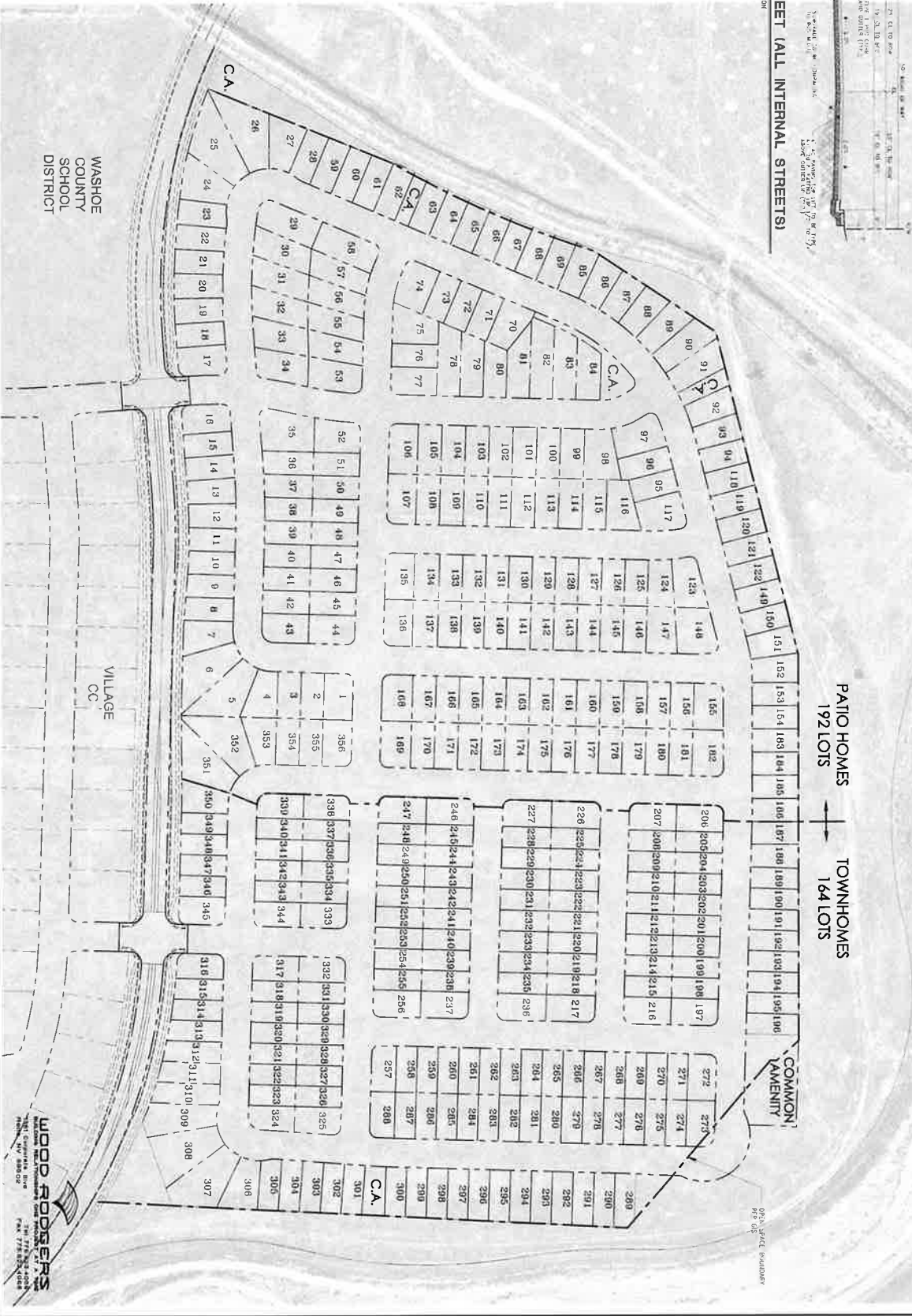
528-030-58

LOT SUMMARY:

MINIMUM LOT SIZE = 2,880 SQ. FT.
MAXIMUM LOT SIZE = 7,923 SQ. FT.
AVERAGE LOT SIZE = 3,196 SQ. FT.
MINIMUM ALLOWABLE LOT SIZE = 2,880 SQ. FT.

LDNR LOT REQUIREMENTS:

INTERIOR MINIMUM = 6,000 SQ. FT.
LOT WIDTH MINIMUM = 35 FT.
LOT DEPTH MINIMUM = 60 FT.
DISTANCE BETWEEN BUILDINGS = 15 FT.



PATIO HOMES
192 LOTS

TOWNHOMES
164 LOTS

COMMON
FACILITY

WASHOE
COUNTY
SCHOOL
DISTRICT

VILLAGE
CC

WOOD ROBBERS
3017 W. 11TH STREET
SPARKS, NV 89402
TEL: 775-352-4204
FAX: 775-352-4204

PRELIMINARY LOT LAYOUT

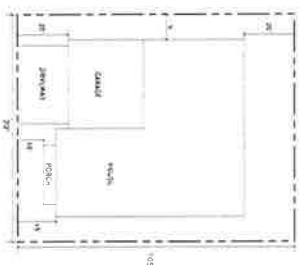
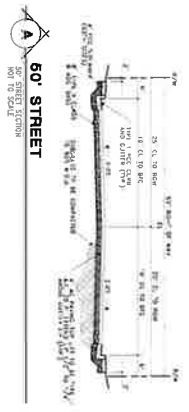
STONEBROOK PHASE 3 VILLAGE CC

SPARKS, NEVADA
OCTOBER 2020

PROJECT NOTES

BITE INFORMATION:
TOTAL NUMBER OF LOTS = 73
TOTAL SITE AREA = 19.42 AC
TOTAL LOT AREA = 13.46 AC
COMMON AREA = 1.98 AC
PROJECT DENSITY = 3.76

LOT SUMMARY:
MINIMUM LOT SIZE = 1,250 SQ. FT.
MINIMUM LOT AREA = 0.0286 AC
MINIMUM LOT FRONT SETBACK = 6.000 SQ. FT.
MINIMUM LOT DEPTH SETBACK = 6.000 SQ. FT.
MINIMUM LOT WIDTH SETBACK = 6.000 SQ. FT.
MINIMUM LOT DEPTH SETBACK = 6.000 SQ. FT.
MINIMUM LOT DEPTH SETBACK = 6.000 SQ. FT.
MINIMUM LOT DEPTH SETBACK = 6.000 SQ. FT.





STONEBROOK SFD

SPARKS, NV
JANUARY 12, 2021



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775.856.8450

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Brentwood, CA 94513
925.634.7000 | sdgarchitectsinc.com





PLAN 1811 PRAIRIE

PLAN 1678 FARMHOUSE

PLAN 1547 CRAFTSMAN

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Sparks, NV
January 12, 2021

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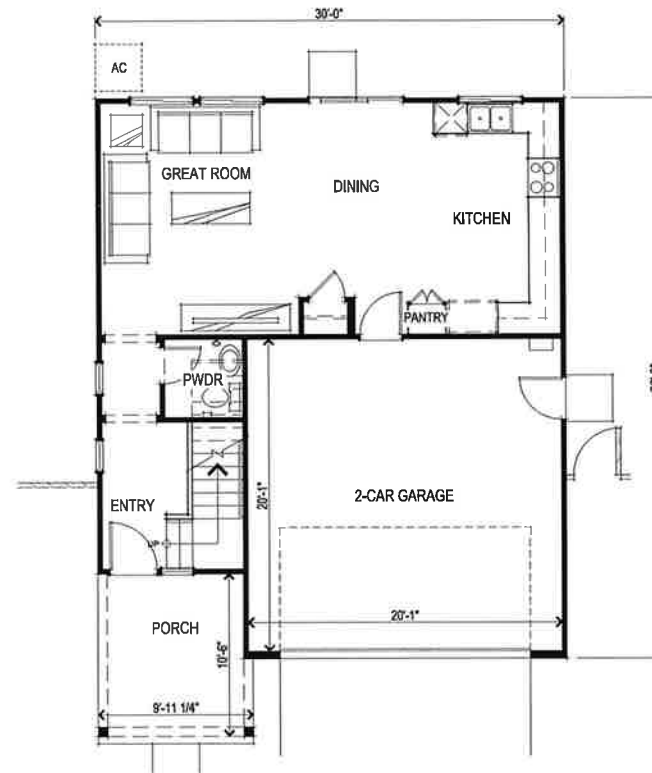
CONCEPTUAL STREETSCAPE
01

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SECOND FLOOR PLAN



FIRST FLOOR PLAN

SQUARE FOOTAGES	
FIRST FLOOR	809 SQ. FT.
SECOND FLOOR	938 SQ. FT.
TOTAL LIVING	1547 SQ. FT.
2-CAR GARAGE	420 SQ. FT.



FLOOR PLANS
1547-01

Stonebrook - SFD
Sparks, NV
January 12, 2021

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ARCHITECTURAL
GRADE COMP
SHINGLE ROOFING
BUILT UP FOAM TRIM
CEMENT
PLASTER FINISH



PRAIRIE FRONT ELEVATION

ARCHITECTURAL
GRADE COMP
SHINGLE ROOFING
ILLUMINATED
ADDRESS, TYP.
CEMENT
PLASTER FINISH



FARMHOUSE FRONT ELEVATION

ARCHITECTURAL
GRADE COMP
SHINGLE ROOFING
CEMENT
PLASTER FINISH



CRAFTSMAN FRONT ELEVATION

Stonebrook - SFD
Sparks, NV
January 12, 2021

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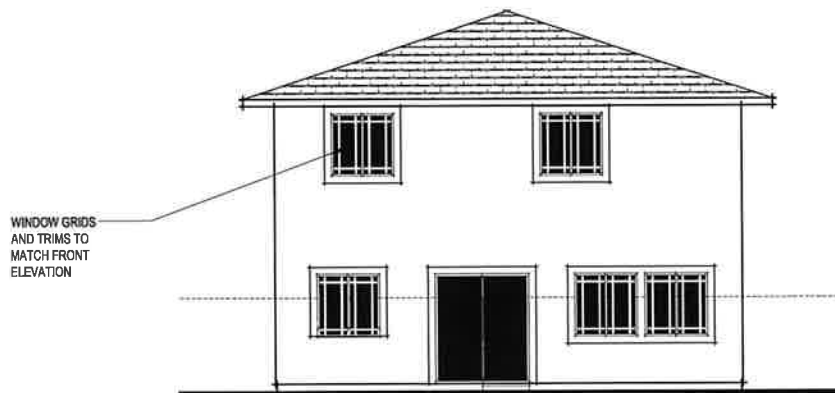
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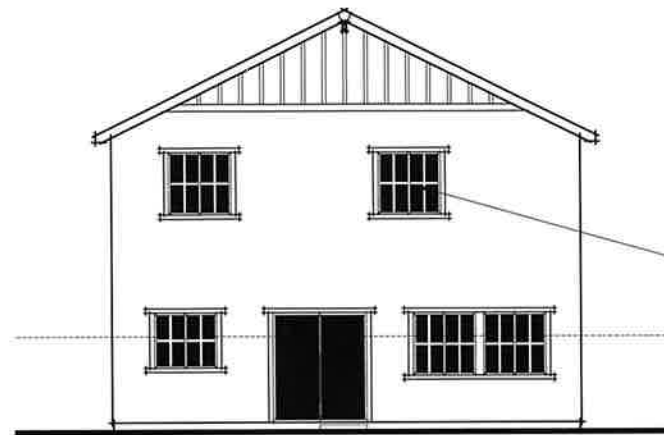
0 1' 2' 3' 4' 8'
FRONT ELEVATIONS
1547-02

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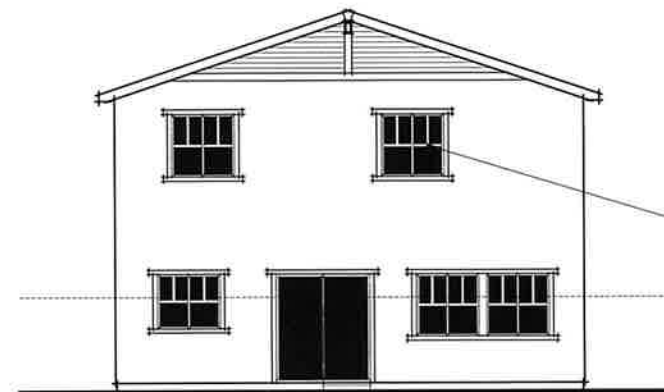




PRAIRIE ENHANCED REAR ELEVATION



FARMHOUSE ENHANCED REAR ELEVATION



CRAFTSMAN ENHANCED REAR ELEVATION

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January 12, 2021

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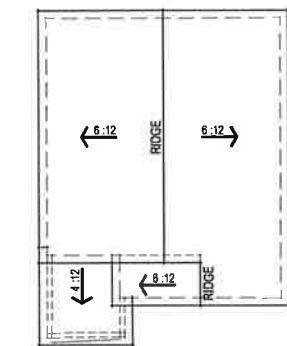
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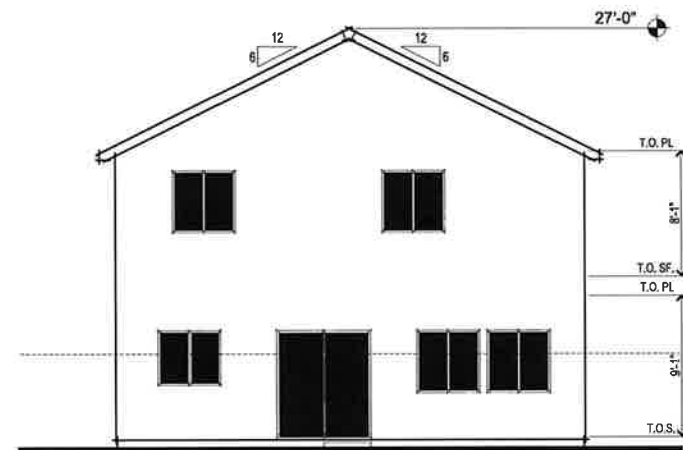
ENHANCED ELEVATIONS
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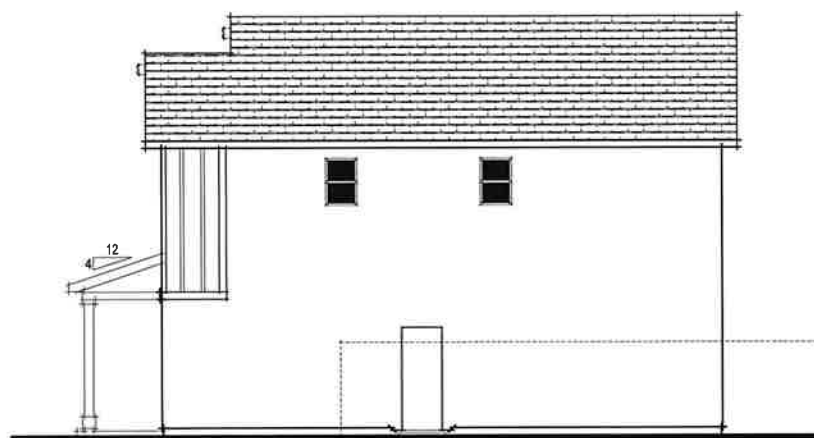




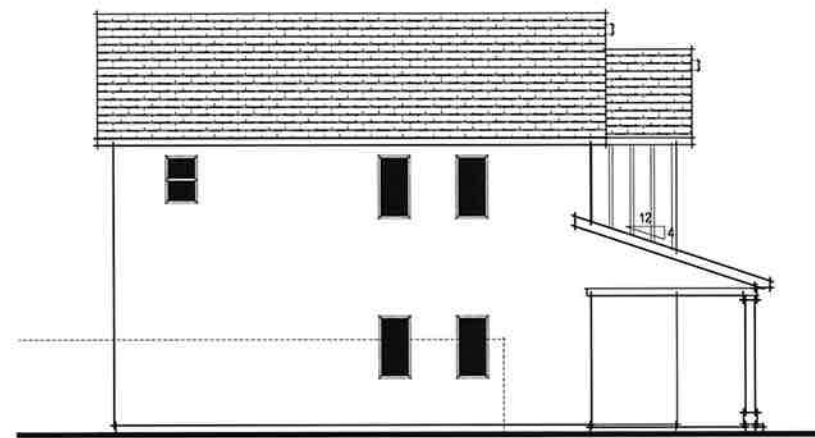
FARMHOUSE ROOF PLAN



FARMHOUSE REAR ELEVATION



FARMHOUSE RIGHT ELEVATION



FARMHOUSE LEFT ELEVATION



FARMHOUSE ELEVATIONS
1547-03

Stonebrook - SFD
Sparks, NV
January 12, 2021

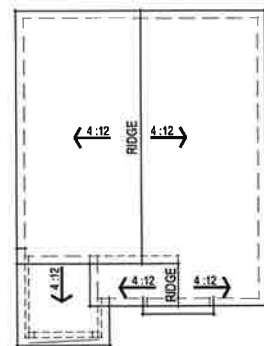
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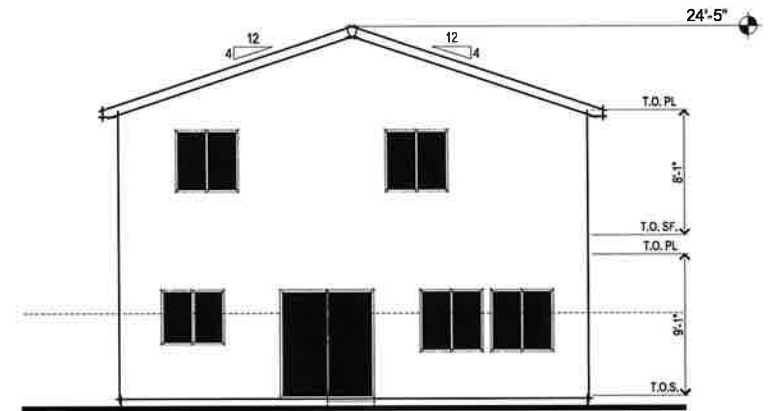
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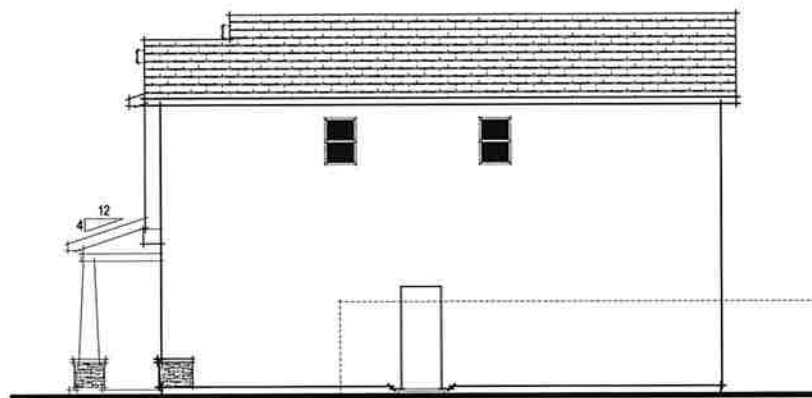




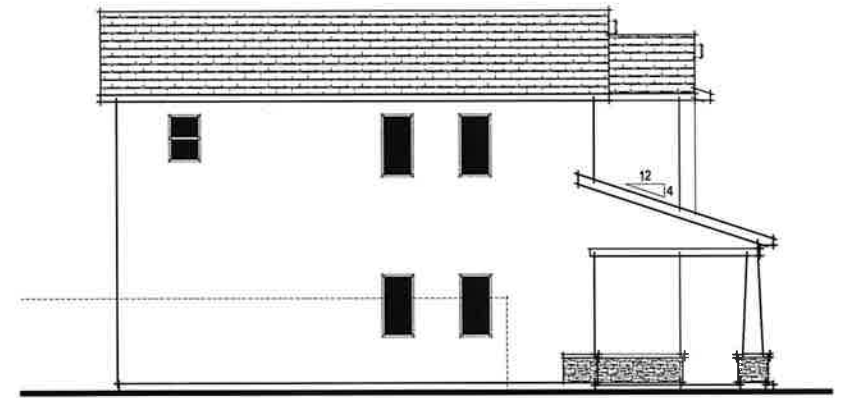
CRAFTSMAN ROOF PLAN



CRAFTSMAN REAR ELEVATION



CRAFTSMAN RIGHT ELEVATION



CRAFTSMAN LEFT ELEVATION



CRAFTSMAN ELEVATIONS
1547-04

Stonebrook - SFD
Sparks, NV
January 12, 2021

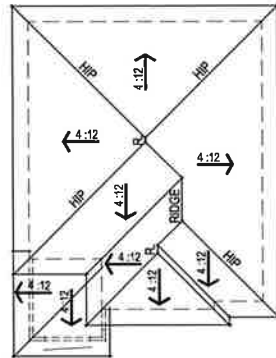
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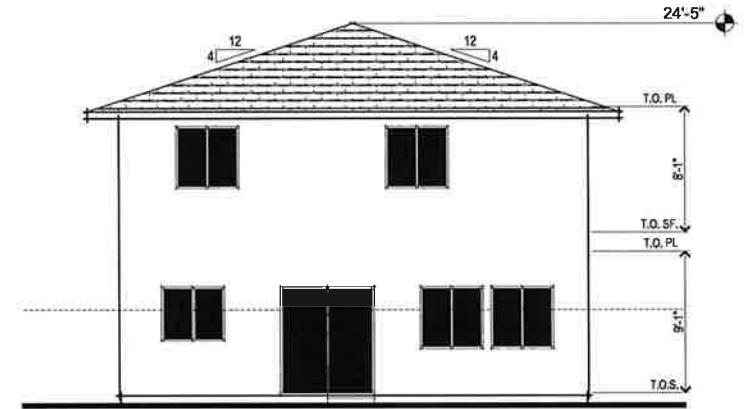
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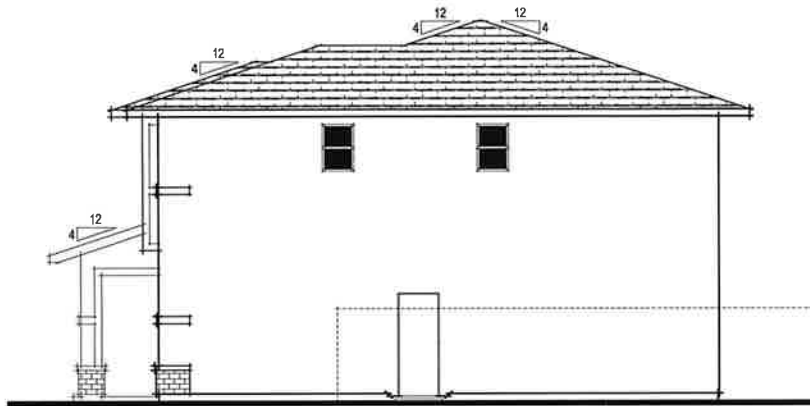




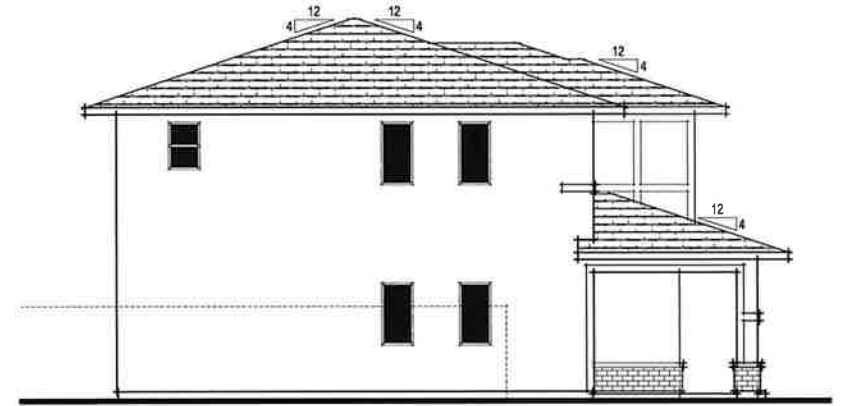
PRAIRIE ROOF PLAN



PRAIRIE REAR ELEVATION



PRAIRIE RIGHT ELEVATION



PRAIRIE LEFT ELEVATION

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Sparks, NV
January 12, 2021

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PRAIRIE ELEVATIONS
1547-05

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3361 Walnut Blvd. Suite 120
Brentwood, CA 94513
925.634.7000 | sdgarchitecture-nv.com





SECOND FLOOR PLAN



FIRST FLOOR PLAN

SQUARE FOOTAGES	
FIRST FLOOR	641 SQ. FT.
SECOND FLOOR	1037 SQ. FT.
TOTAL LIVING	1678 SQ. FT.
2-CAR GARAGE	429 SQ. FT.



FLOOR PLANS
1678-01

Stonebrook - SFD
Sparks, NV
January 12, 2021

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HOMES
a D.R. Horton Company

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PRAIRIE FRONT ELEVATION



FARMHOUSE FRONT ELEVATION



CRAFTSMAN FRONT ELEVATION

Stonebrook - SFD
Sparks, NV
January 12, 2021

Express
HOMES
a D.R. Horton Company

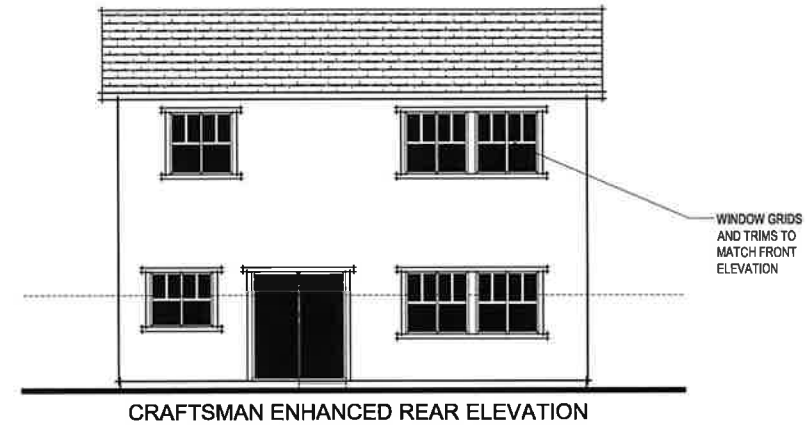
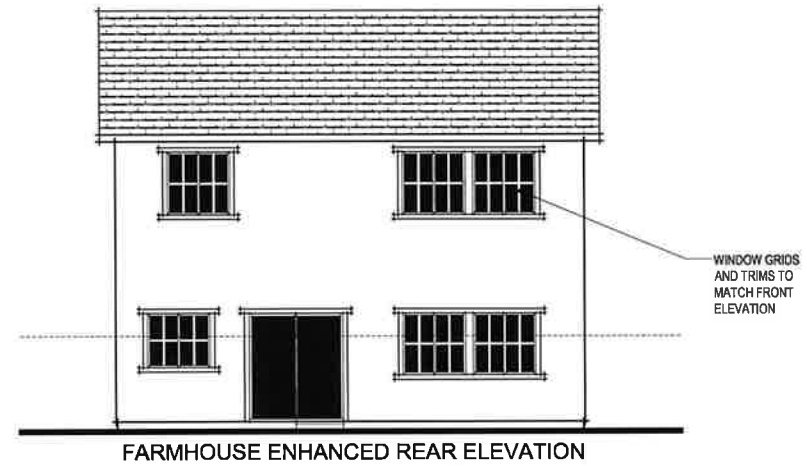
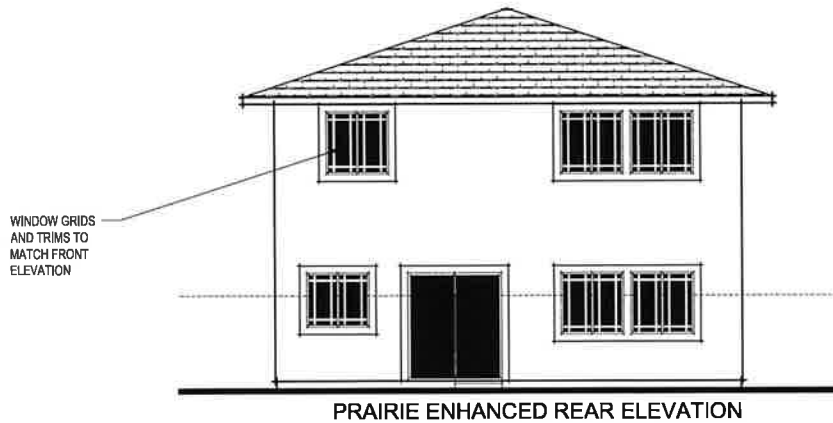
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775.858.8450

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FRONT ELEVATIONS
1678-02



Stonebrook - SFD
Sparks, NV
January 12, 2021

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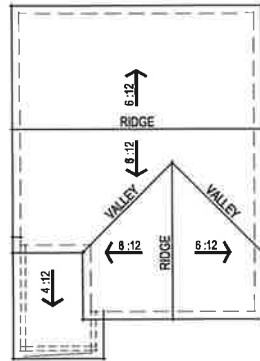
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0 1' 2' 3' 4' 8'

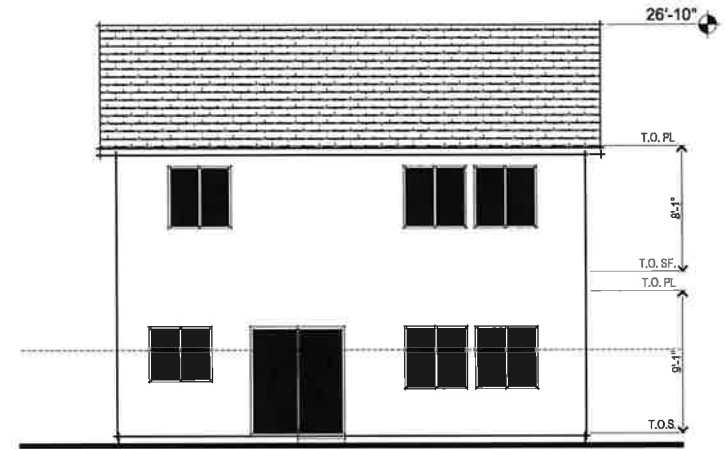
ENHANCED ELEVATIONS
1678-02E

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FARMHOUSE ROOF PLAN



FARMHOUSE REAR ELEVATION



FARMHOUSE RIGHT ELEVATION



FARMHOUSE LEFT ELEVATION

Stonebrook - SFD
Sparks, NV
January 12, 2021

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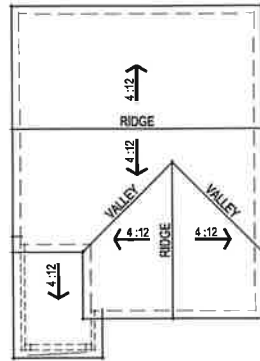
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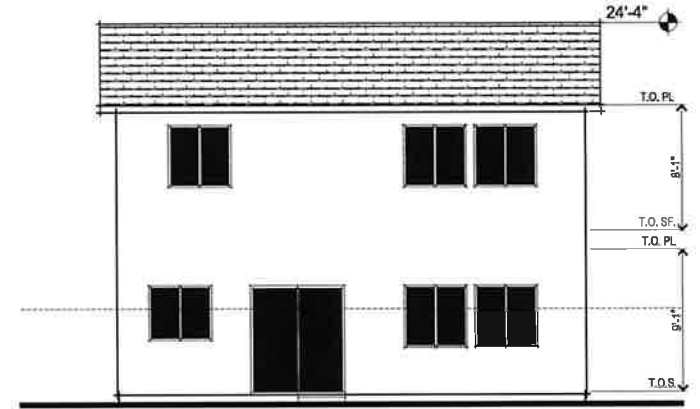
FARMHOUSE ELEVATIONS
1678-03

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Brentwood, CA 94513
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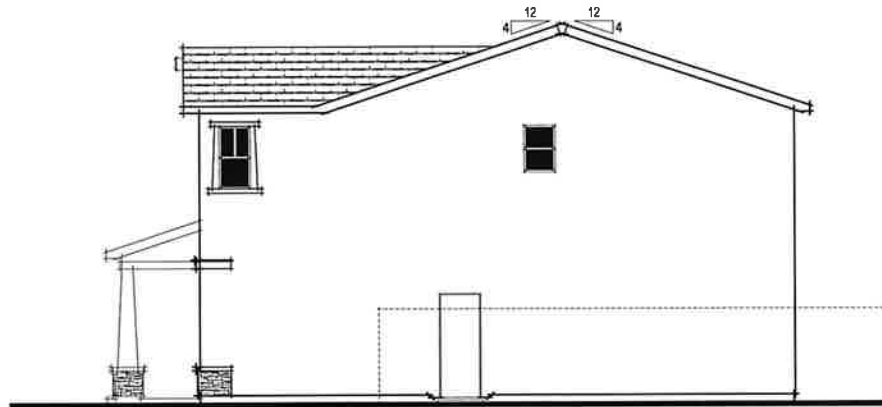




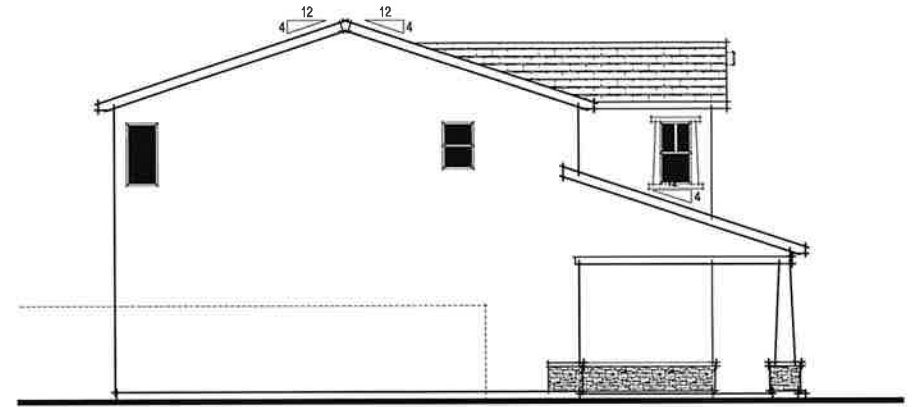
CRAFTSMAN ROOF PLAN



CRAFTSMAN REAR ELEVATION



CRAFTSMAN RIGHT ELEVATION



CRAFTSMAN LEFT ELEVATION

Stonebrook - SFD
Sparks, NV
January 12, 2021

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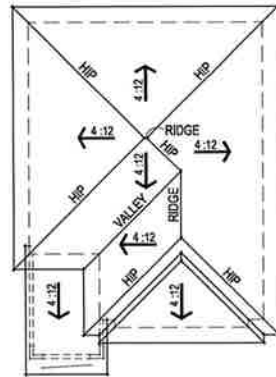
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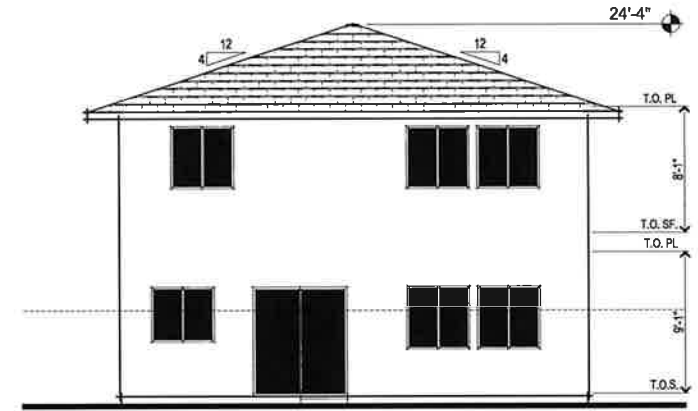
CRAFTSMAN ELEVATIONS
1678-04

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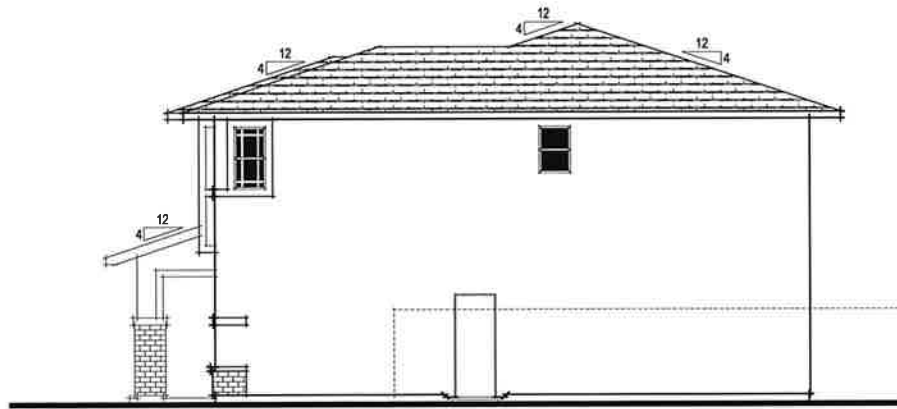




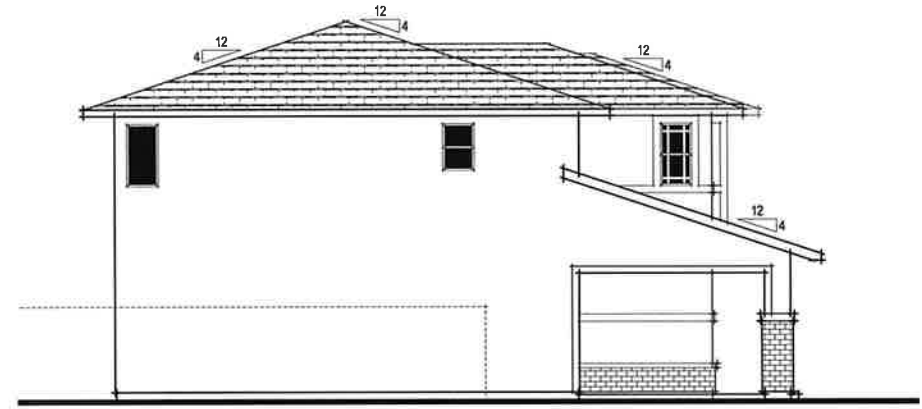
PRAIRIE ROOF PLAN



PRAIRIE REAR ELEVATION



PRAIRIE RIGHT ELEVATION



PRAIRIE LEFT ELEVATION

Stonebrook - SFD
Sparks, NV
January 12, 2021

Express
HOMES
a D.R. Horton Company

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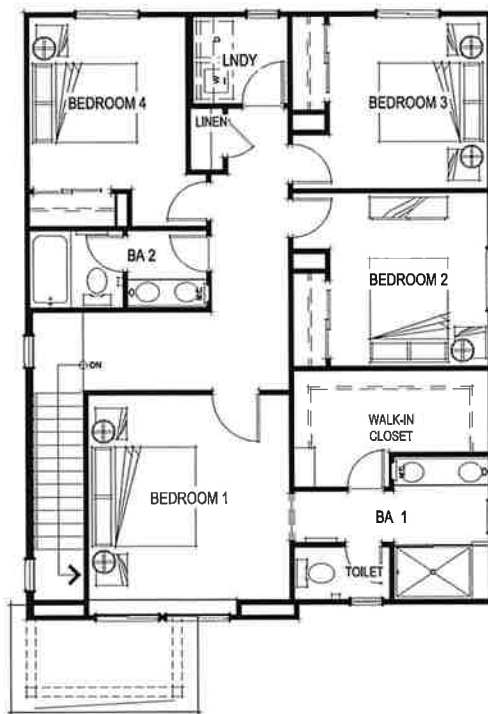
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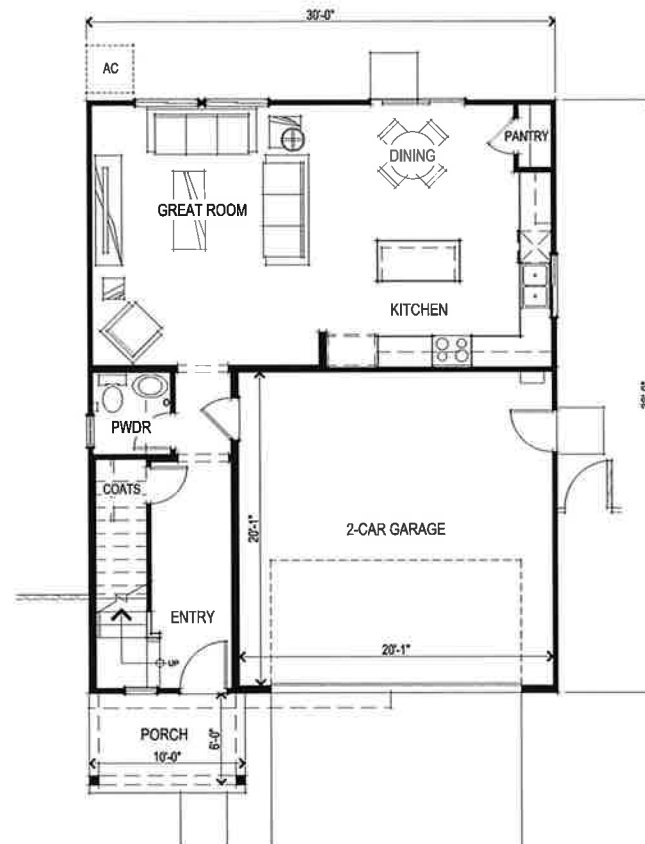
PRAIRIE ELEVATIONS
1678-05

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SECOND FLOOR PLAN



FIRST FLOOR PLAN

SQUARE FOOTAGES	
FIRST FLOOR	721 SQ. FT.
SECOND FLOOR	1090 SQ. FT.
TOTAL LIVING	1811 SQ. FT.
2-CAR GARAGE	419 SQ. FT.



FLOOR PLANS
1811-01

Stonebrook - SFD
Sparks, NV
January 12, 2021

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ARCHITECTURAL
GRADE COMP
SHINGLE ROOFING
BUILT UP FOAM TRIM
CEMENT
PLASTER FINISH



PRAIRIE FRONT ELEVATION

ARCHITECTURAL
GRADE COMP
SHINGLE ROOFING
ILLUMINATED
ADDRESS, TYP.
CEMENT
PLASTER FINISH



FARMHOUSE FRONT ELEVATION

ARCHITECTURAL
GRADE COMP
SHINGLE ROOFING
CEMENT
PLASTER FINISH



CRAFTSMAN FRONT ELEVATION

Stonebrook - SFD
Sparks, NV
January 12, 2021

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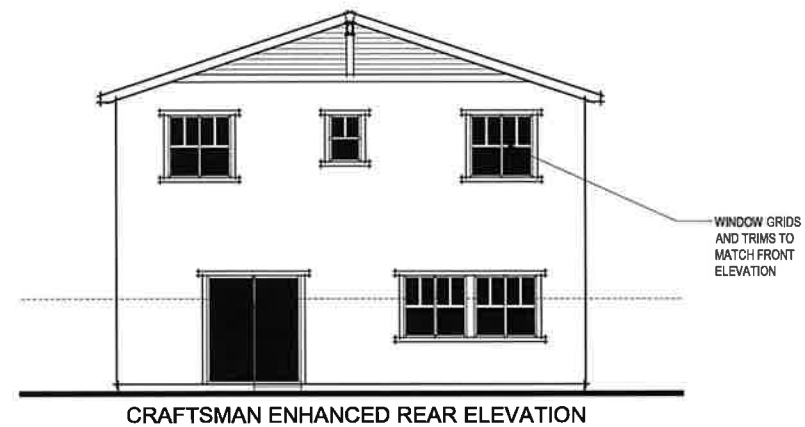
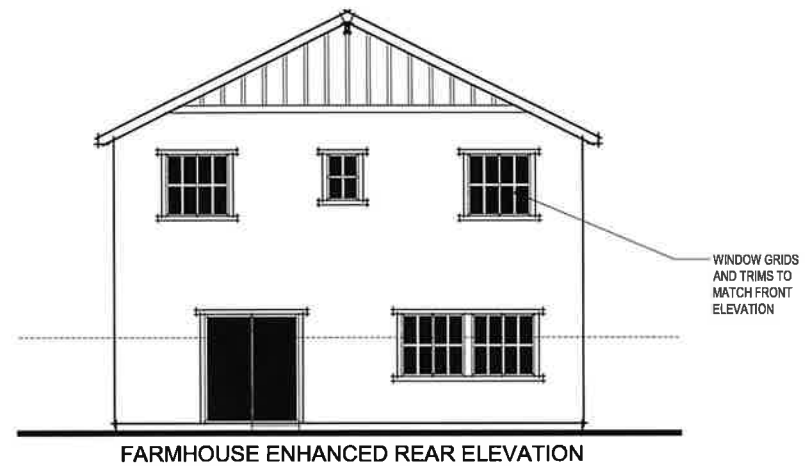
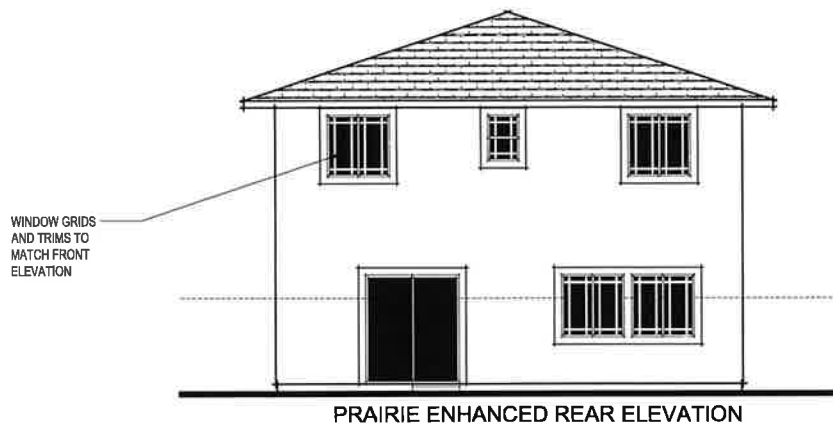
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FRONT ELEVATIONS
1811-02

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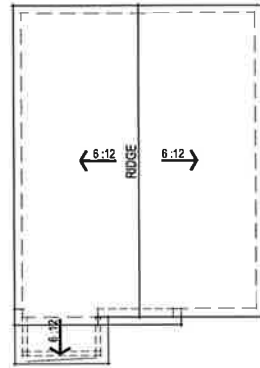
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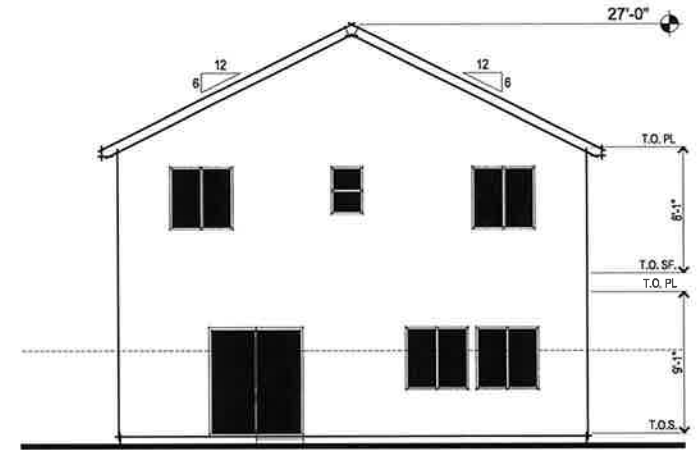
ENHANCED ELEVATIONS
1811-02E

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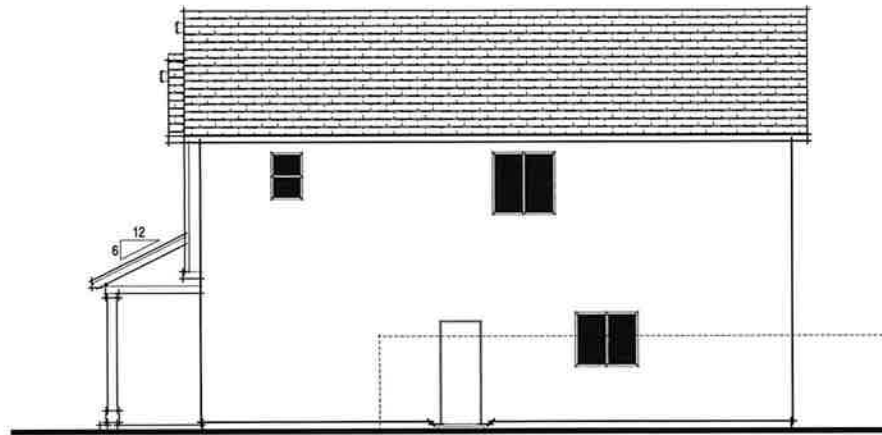




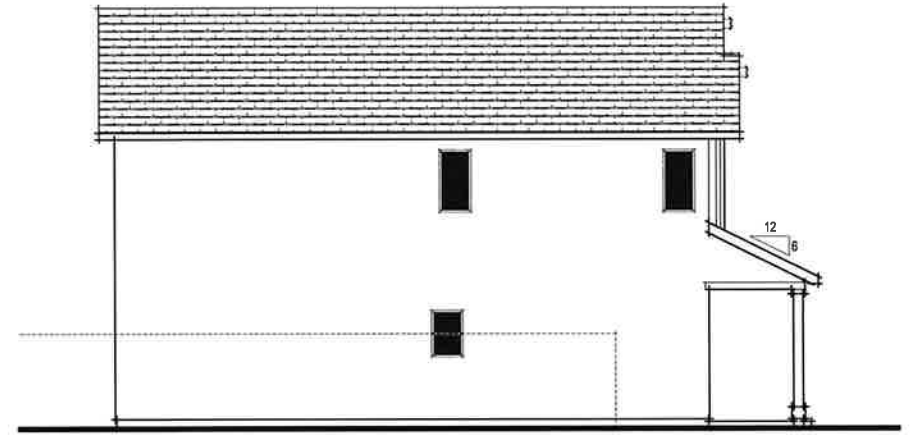
FARMHOUSE ROOF PLAN



FARMHOUSE REAR ELEVATION



FARMHOUSE RIGHT ELEVATION



FARMHOUSE LEFT ELEVATION

Stonebrook - SFD
Sparks, NV
January 12, 2021

Express
HOMES
a D.R. Horton Company

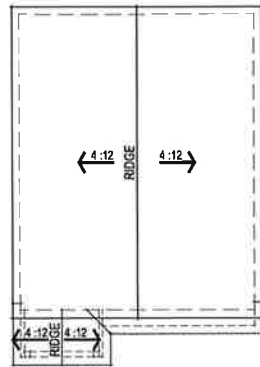
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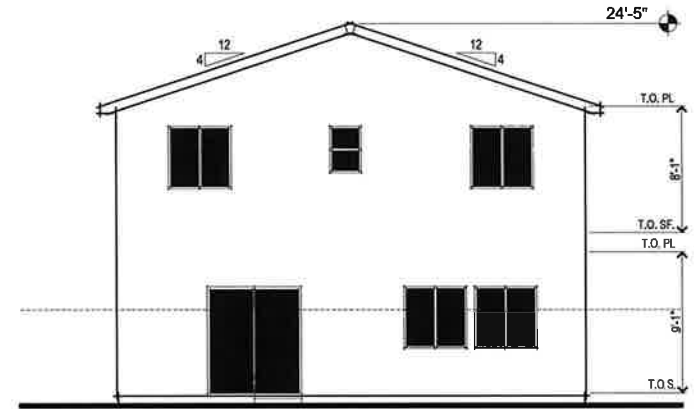
FARMHOUSE ELEVATIONS
1811-03

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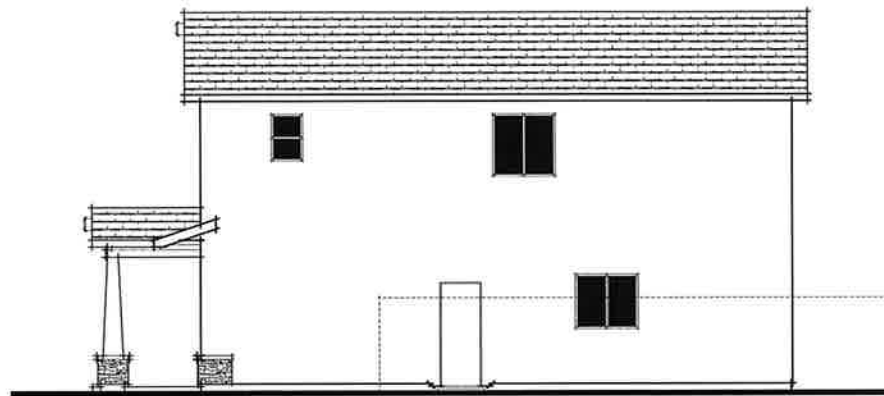




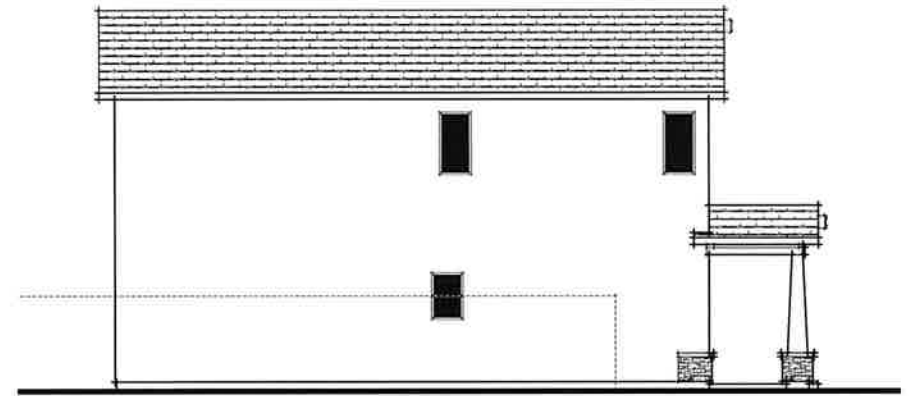
CRAFTSMAN ROOF PLAN



CRAFTSMAN REAR ELEVATION



CRAFTSMAN RIGHT ELEVATION



CRAFTSMAN LEFT ELEVATION

Stonebrook - SFD
Sparks, NV
January 12, 2021



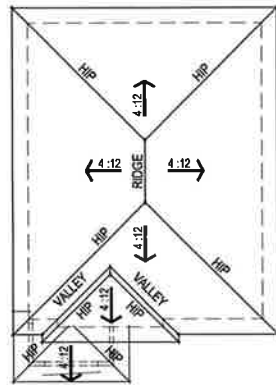
5548 LONGLEY LANE
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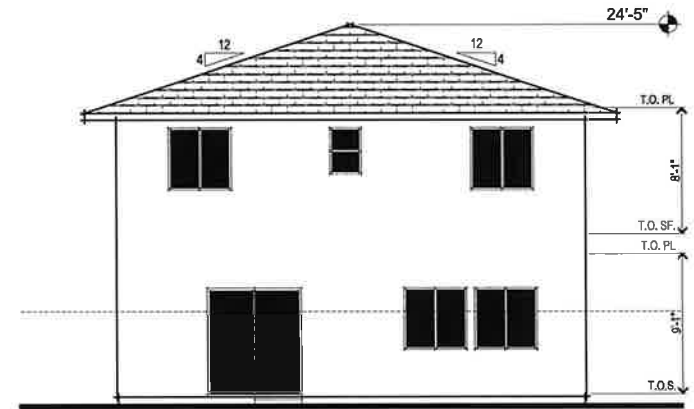
CRAFTSMAN ELEVATIONS
1811-04

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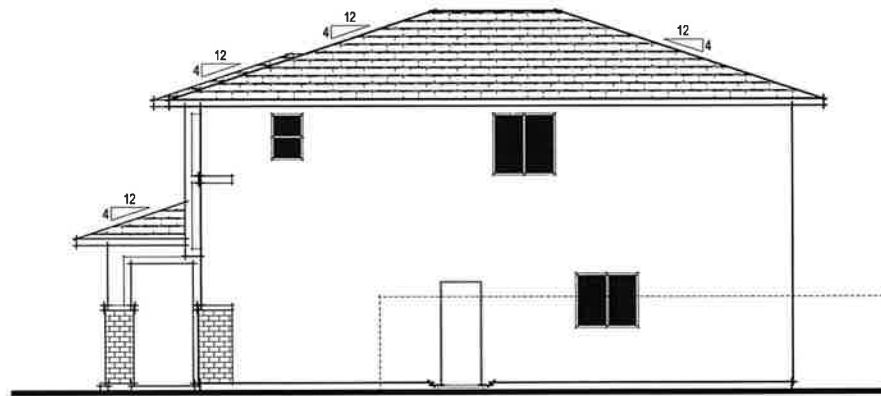




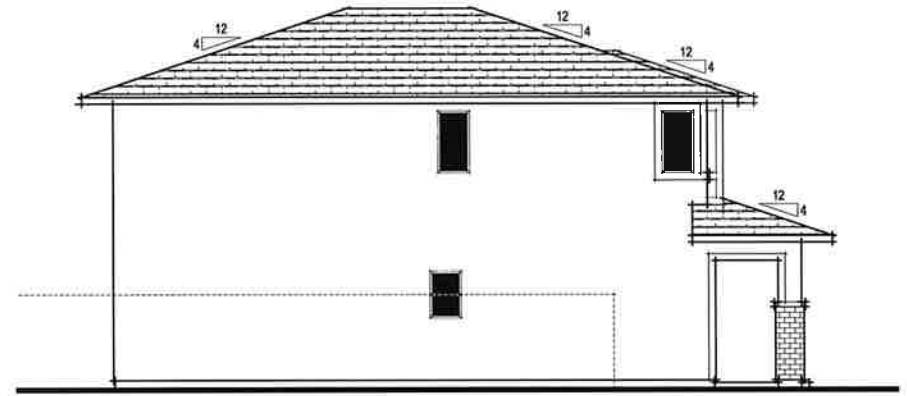
PRAIRIE ROOF PLAN



PRAIRIE REAR ELEVATION



PRAIRIE RIGHT ELEVATION



PRAIRIE LEFT ELEVATION

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Sparks, NV
January 12, 2021

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PRAIRIE ELEVATIONS
1811-05

SCHEME 1 - FARMHOUSE



SCHEME 2 - FARMHOUSE



SCHEME 3 - FARMHOUSE



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Sparks, NV
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FARMHOUSE COLOR SCHEMES
CS-01

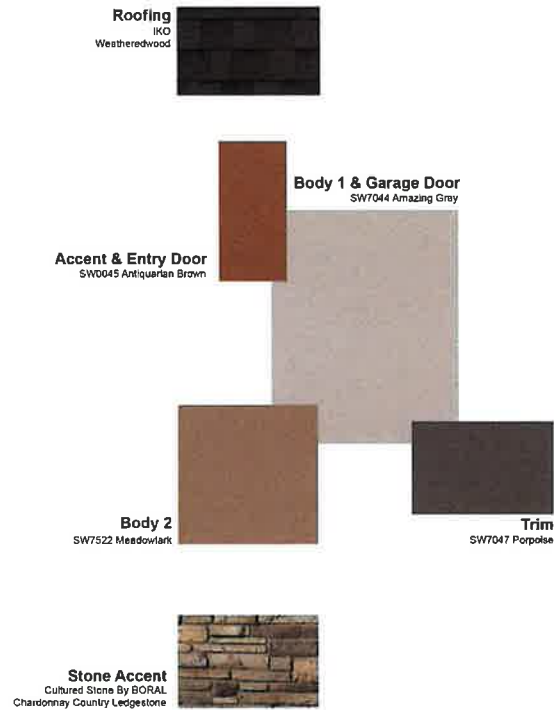
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SCHEME 4 - CRAFTSMAN



SCHEME 5 - CRAFTSMAN



SCHEME 6 - CRAFTSMAN



Stonebrook - SFD
Sparks, NV
January 12, 2021

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CRAFTSMAN COLOR SCHEMES
CS-02

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SCHEME 7 - PRAIRIE



SCHEME 8 - PRAIRIE



SCHEME 9 - PRAIRIE



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January 12, 2021

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PRAIRIE COLOR SCHEMES
CS-03

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STONEBROOK DUETS

SPARKS, NEVADA
JANUARY 12, 2021

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1453/1289 - CRAFTSMAN

1453/1453 - FARMHOUSE

1453/1289 - PRAIRIE

Stonebrook - Duets
 Sparks, NV
 January 12, 2021

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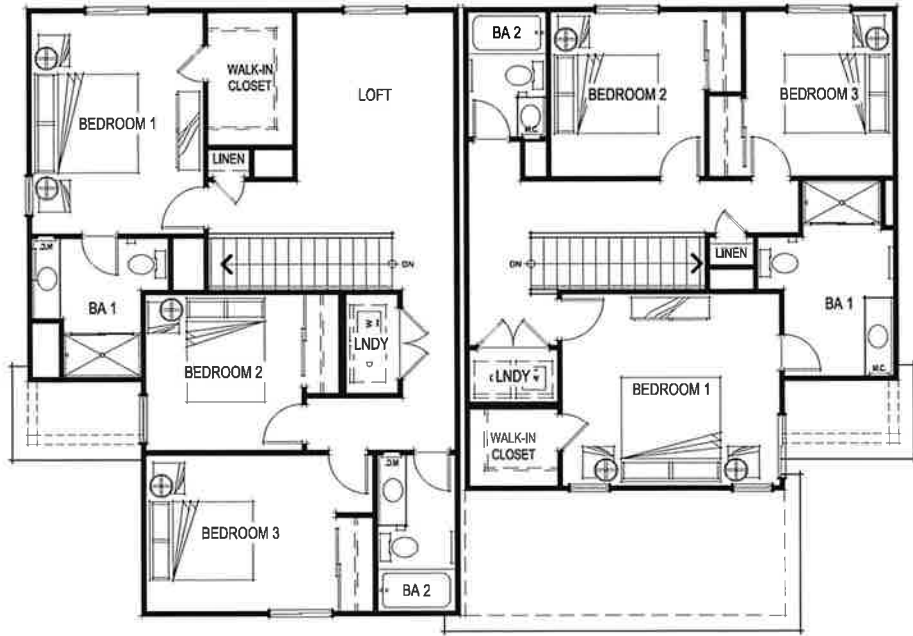
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CONCEPTUAL STREETSCAPE
 01

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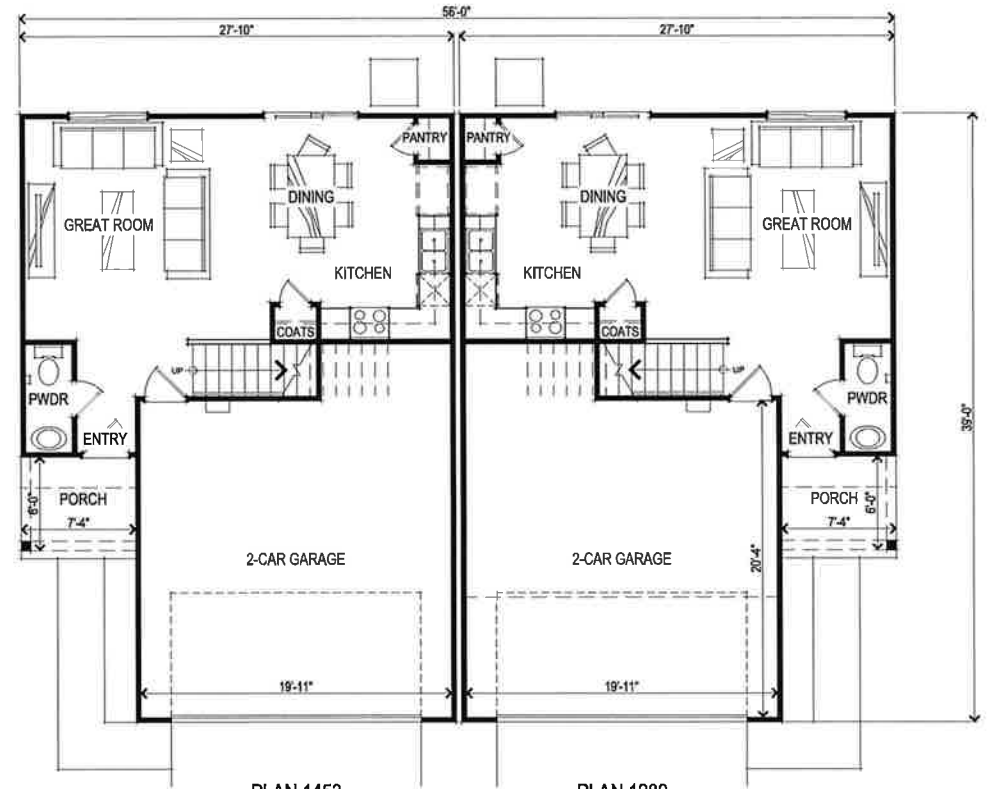




PLAN 1453 (3-BED)

PLAN 1289

SECOND FLOOR PLAN



PLAN 1453

PLAN 1289

FIRST FLOOR PLAN

SQUARE FOOTAGES	
FIRST FLOOR	508 SQ. FT.
SECOND FLOOR	945 SQ. FT.
TOTAL LIVING	1453 SQ. FT.
2-CAR GARAGE	453 SQ. FT.

SQUARE FOOTAGES	
FIRST FLOOR	508 SQ. FT.
SECOND FLOOR	781 SQ. FT.
TOTAL LIVING	1289 SQ. FT.
2-CAR GARAGE	453 SQ. FT.



Stonebrook - Duets
Sparks, NV
January 12, 2021

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HOMES
a D.R. Horton Company

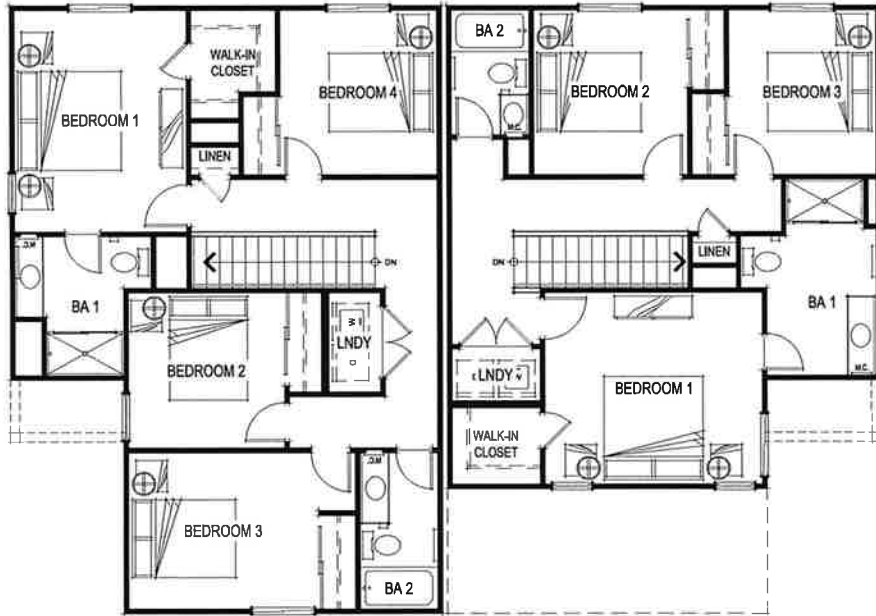
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FLOOR PLANS
1453-1289-01



PLAN 1453 (4-BED)

PLAN 1289

SECOND FLOOR PLAN



Stonebrook - Duets
Sparks, NV
January 12, 2021

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ALT. SECOND FLOOR PLAN
1453-1289-01.1

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PLAN 1453

PLAN 1289
PRAIRIE FRONT ELEVATION



PLAN 1453

PLAN 1289
FARMHOUSE FRONT ELEVATION



PLAN 1453

PLAN 1289
CRAFTSMAN FRONT ELEVATION



Stonebrook - Duets
Sparks, NV
January 12, 2021

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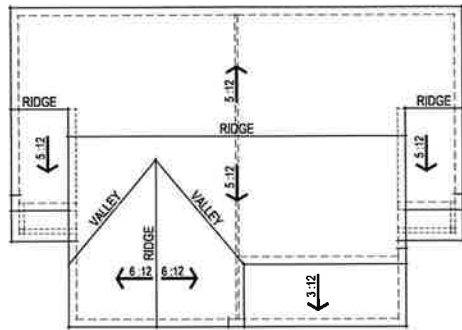
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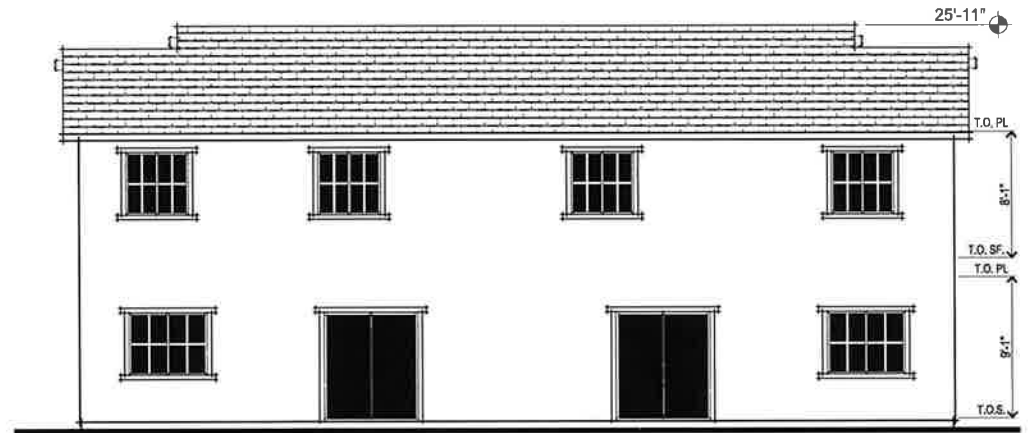
FRONT ELEVATIONS
1453-1289-02

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925.634.7000 | sdgarchitect.com

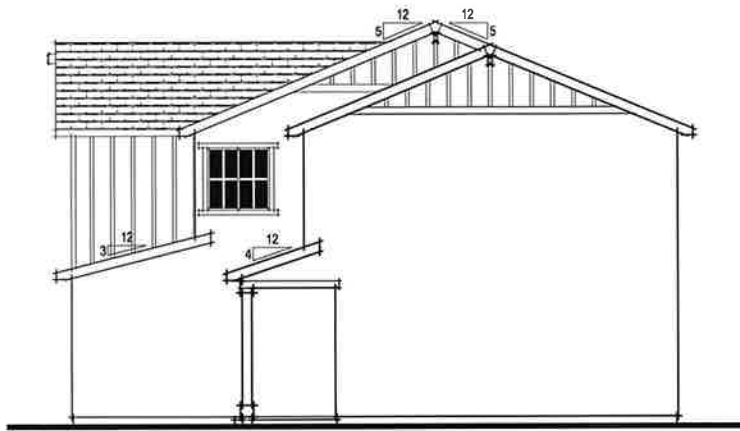




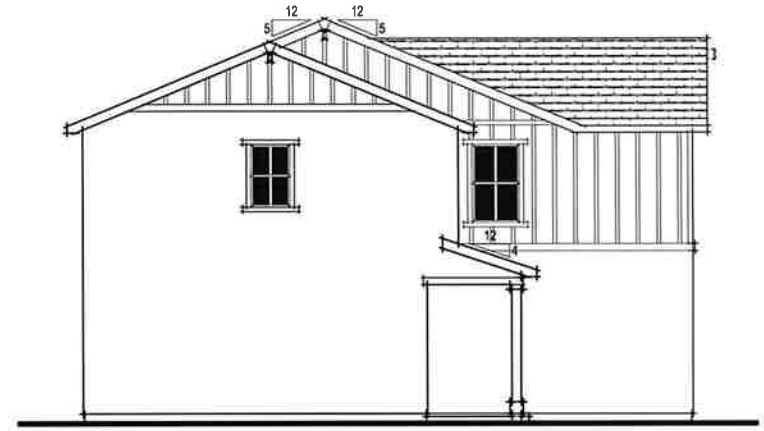
PLAN 1453 PLAN 1289
FARMHOUSE ROOF PLAN



PLAN 1289 PLAN 1453
FARMHOUSE REAR ELEVATION



PLAN 1289
FARMHOUSE RIGHT ELEVATION



PLAN 1453
FARMHOUSE LEFT ELEVATION

Stonebrook - Duets
Sparks, NV
January 12, 2021

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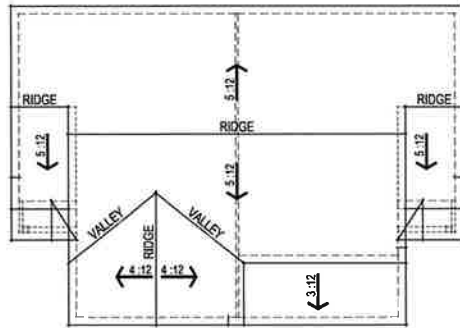
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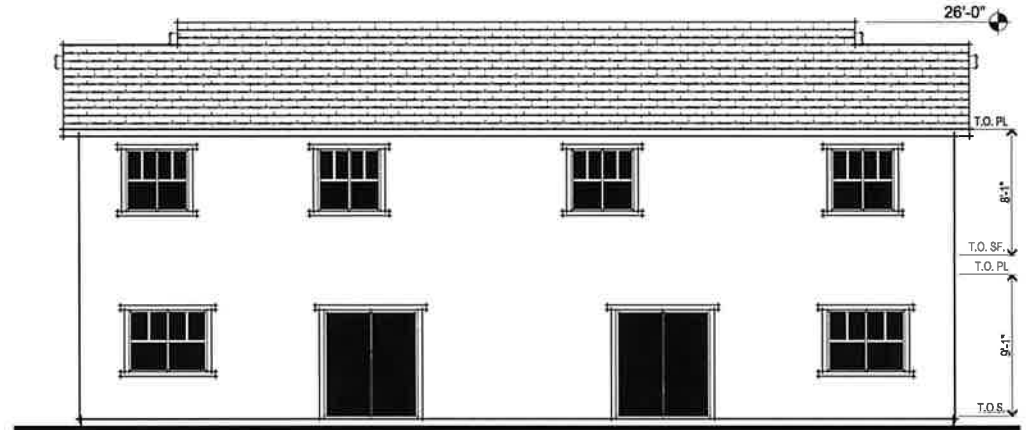
FARMHOUSE ELEVATIONS
1453-1289-03

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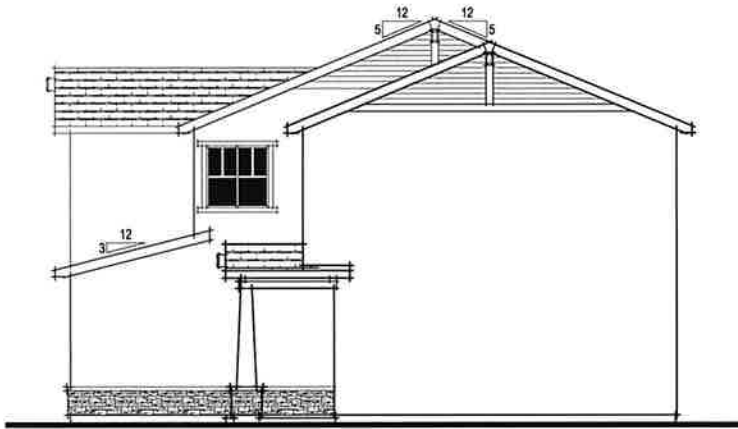




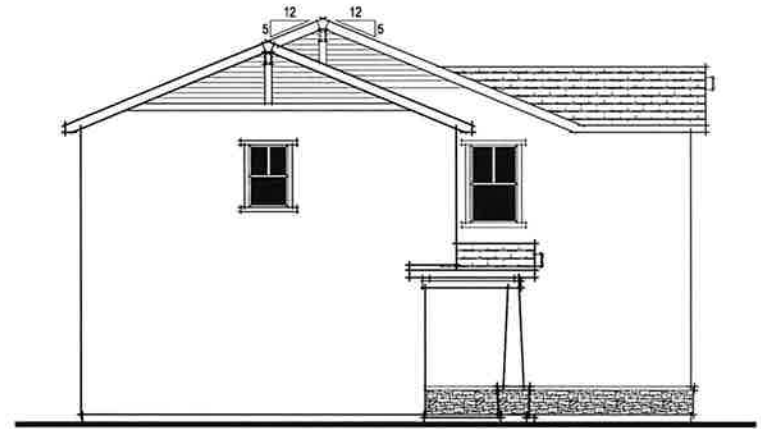
PLAN 1453 PLAN 1289
CRAFTSMAN ROOF PLAN



PLAN 1289 PLAN 1453
CRAFTSMAN REAR ELEVATION



PLAN 1289
CRAFTSMAN RIGHT ELEVATION



PLAN 1453
CRAFTSMAN LEFT ELEVATION



Stonebrook - Duets
Sparks, NV
January 12, 2021

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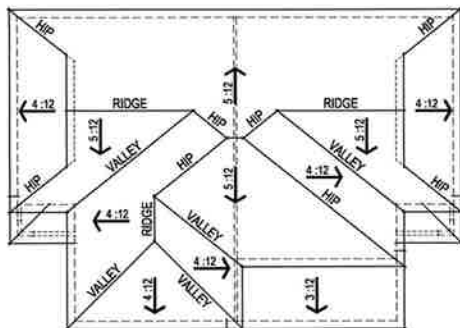
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CRAFTSMAN ELEVATIONS
1453-1289-04

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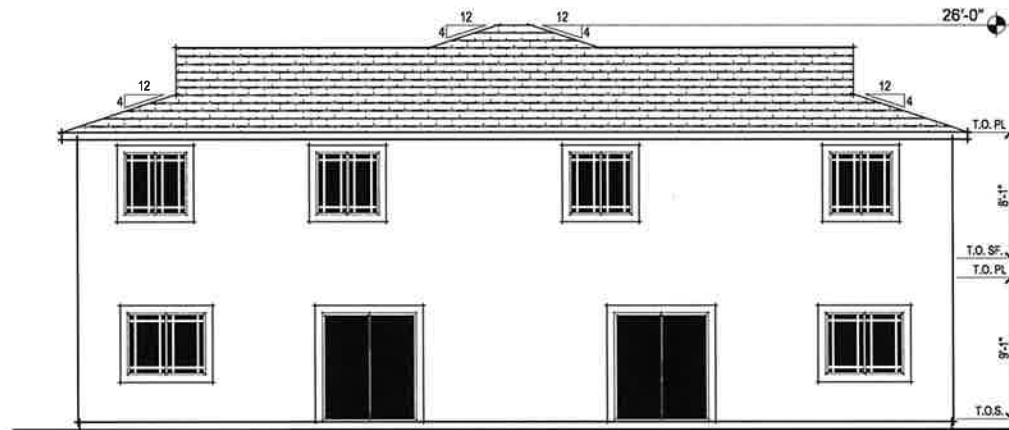




PLAN 1453

PLAN 1289

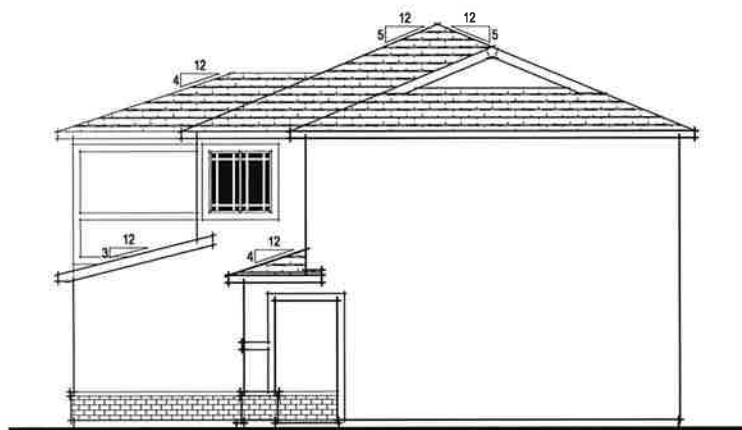
PRAIRIE ROOF PLAN



PLAN 1289

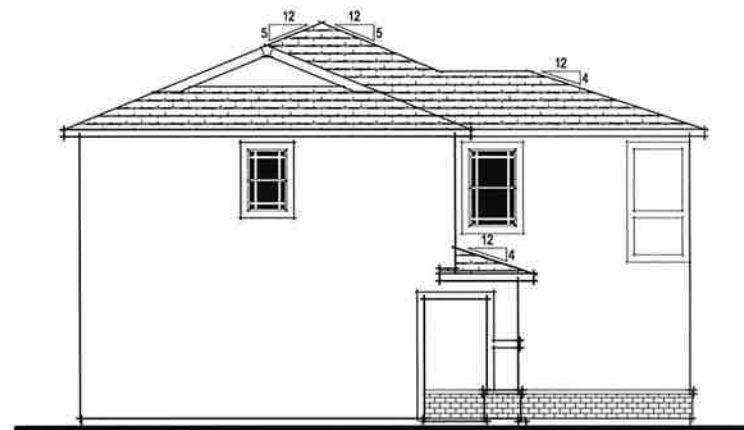
PLAN 1453

PRAIRIE REAR ELEVATION



PLAN 1289

PRAIRIE RIGHT ELEVATION



PLAN 1453

PRAIRIE LEFT ELEVATION



Stonebrook - Duets
Sparks, NV
January 12, 2021

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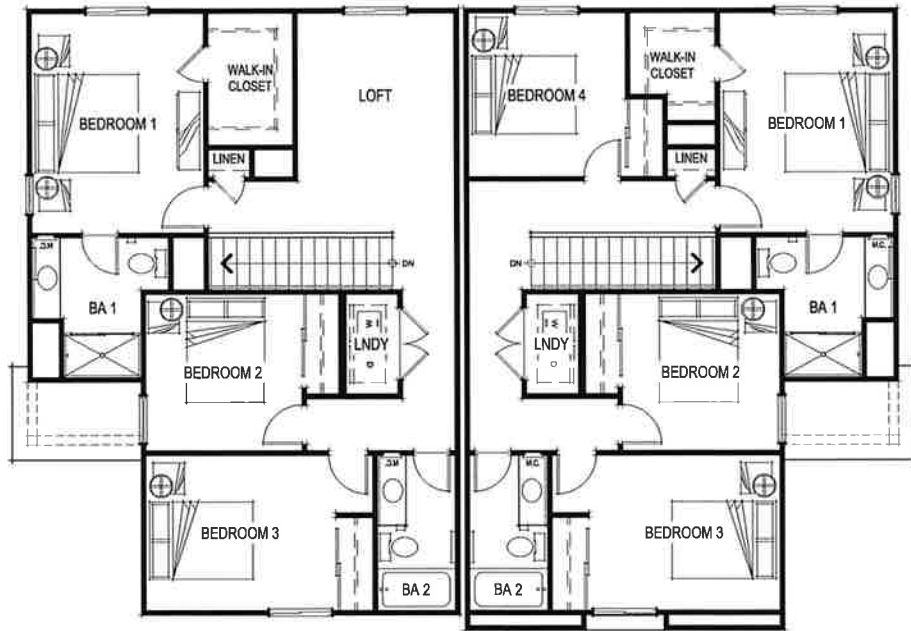
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PRAIRIE ELEVATIONS
1453-1289-05

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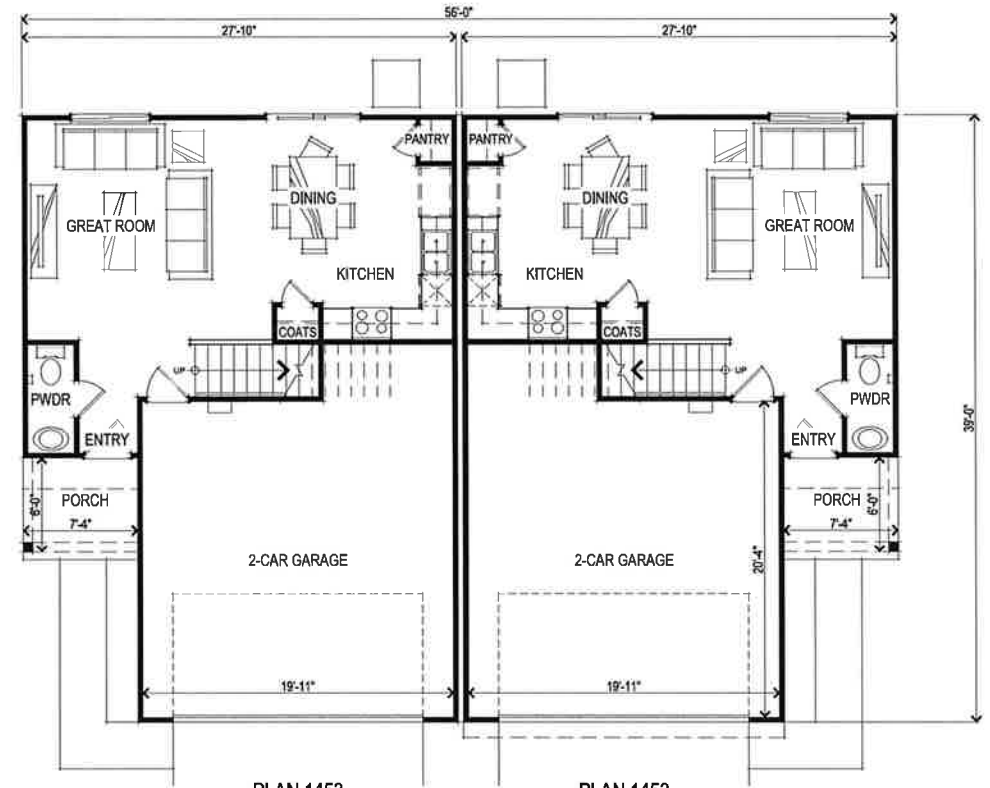




PLAN 1453 (3-BED)

PLAN 1453 (4-BED)

SECOND FLOOR PLAN



PLAN 1453

PLAN 1453

FIRST FLOOR PLAN

SQUARE FOOTAGES

FIRST FLOOR	508 SQ. FT.
SECOND FLOOR	945 SQ. FT.
TOTAL LIVING	1453 SQ. FT.
2-CAR GARAGE	453 SQ. FT.

SQUARE FOOTAGES

FIRST FLOOR	508 SQ. FT.
SECOND FLOOR	945 SQ. FT.
TOTAL LIVING	1453 SQ. FT.
2-CAR GARAGE	453 SQ. FT.



Stonebrook - Duets
Sparks, NV
January 12, 2021

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FLOOR PLANS
1453-1453-01

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PLAN 1453

PLAN 1453
PRAIRIE FRONT ELEVATION



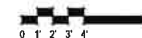
PLAN 1453

PLAN 1453
FARMHOUSE FRONT ELEVATION



PLAN 1453

PLAN 1453
CRAFTSMAN FRONT ELEVATION



Stonebrook - Duets
Sparks, NV
January 12, 2021

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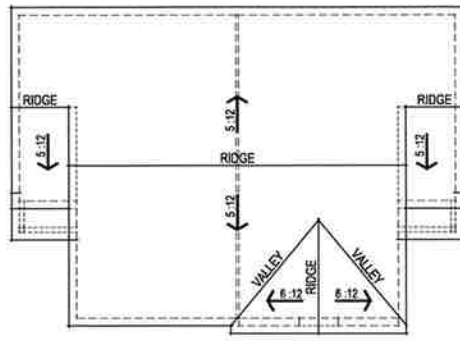
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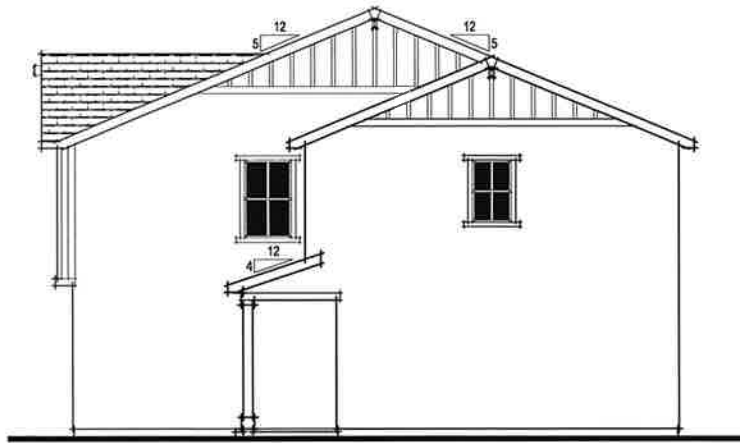
FRONT ELEVATIONS
1453-1453-02

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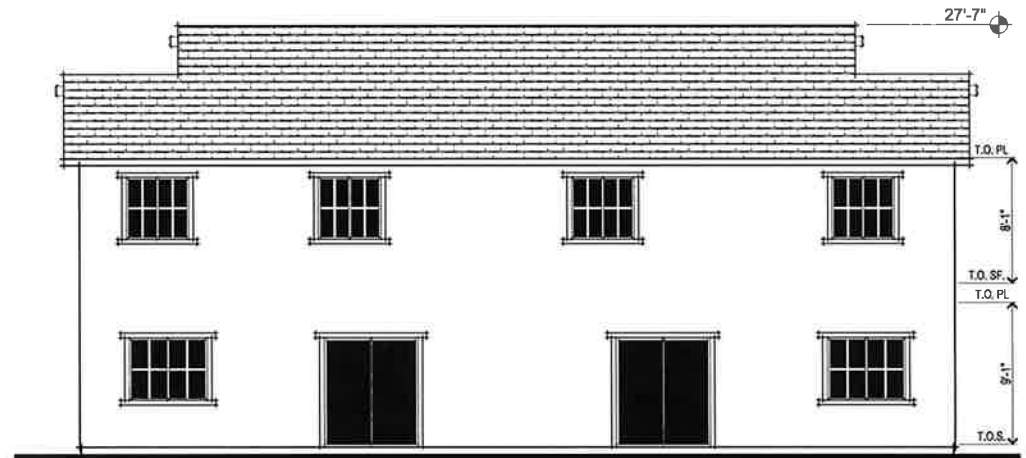




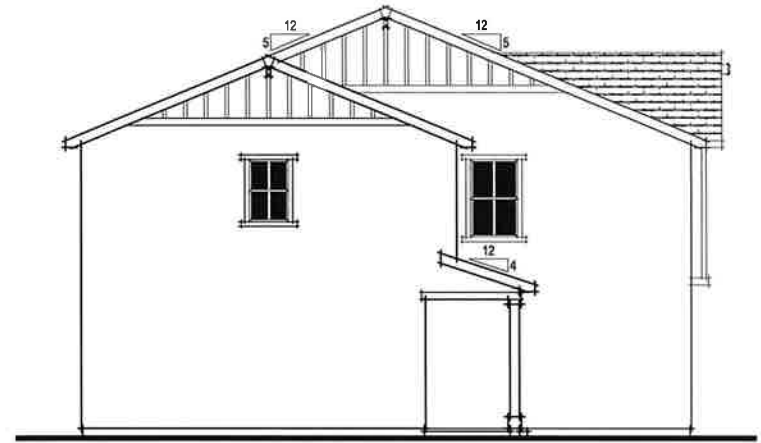
PLAN 1453 PLAN 1453
FARMHOUSE ROOF PLAN



PLAN 1453
FARMHOUSE RIGHT ELEVATION



PLAN 1453 PLAN 1453
FARMHOUSE REAR ELEVATION



PLAN 1453
FARMHOUSE LEFT ELEVATION

Stonebrook - Duets
Sparks, NV
January 12, 2021

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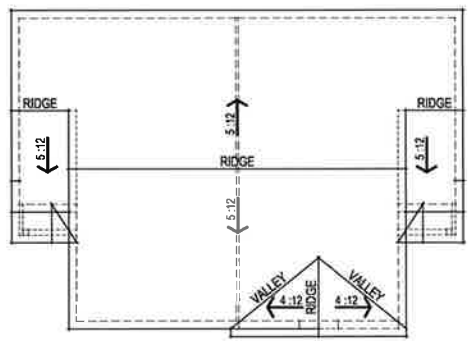
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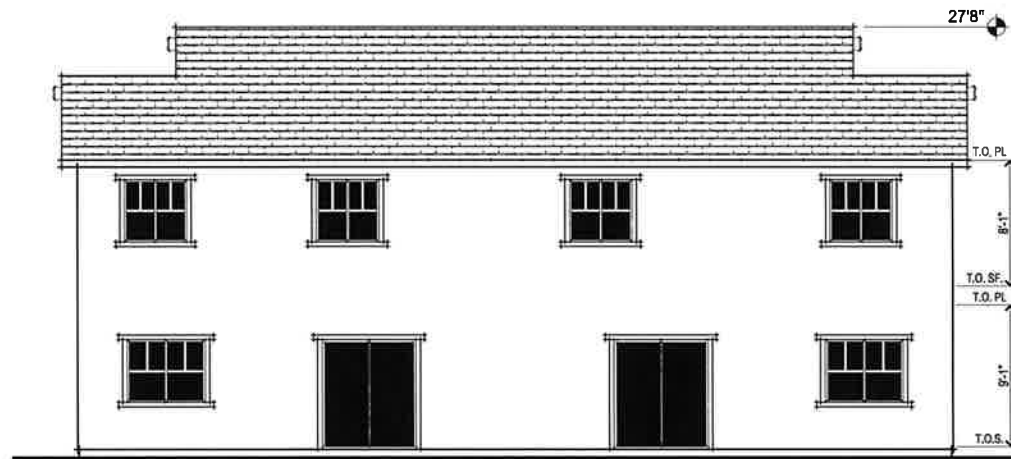
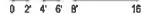
FARMHOUSE ELEVATIONS
1453-1453-03

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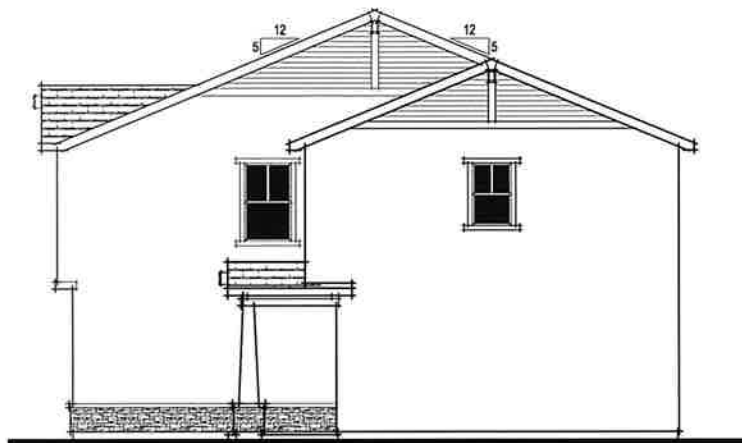




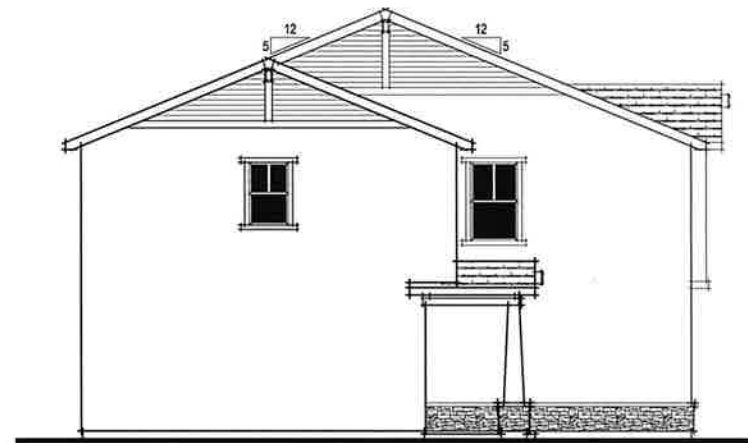
PLAN 1453 PLAN 1453
CRAFTSMAN ROOF PLAN



PLAN 1453 PLAN 1453
CRAFTSMAN REAR ELEVATION



PLAN 1453
CRAFTSMAN RIGHT ELEVATION



PLAN 1453
CRAFTSMAN LEFT ELEVATION



Stonebrook - Duets
Sparks, NV
January 12, 2021

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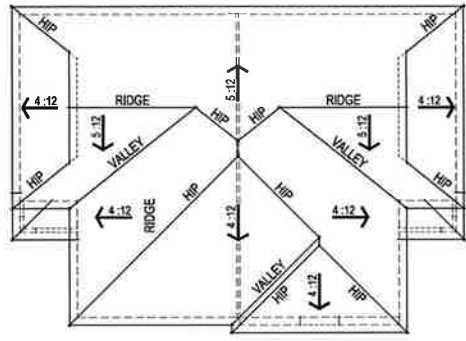
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CRAFTSMAN ELEVATIONS
1453-1453-04

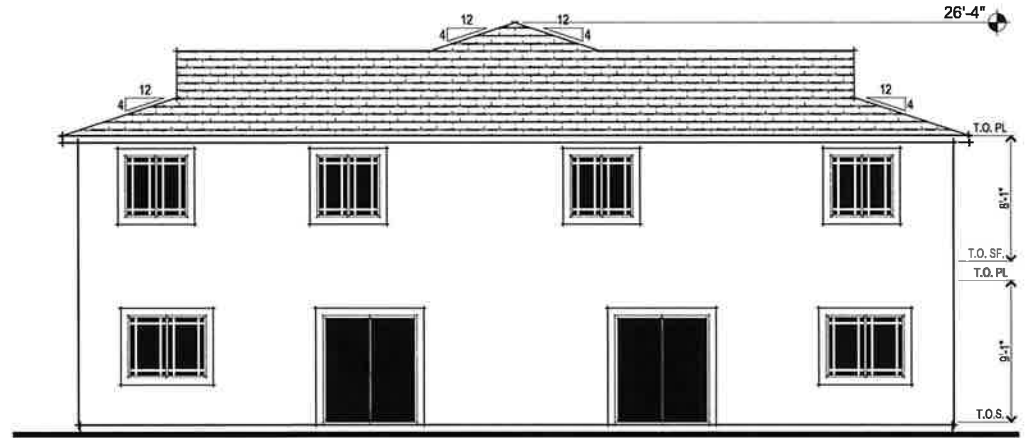
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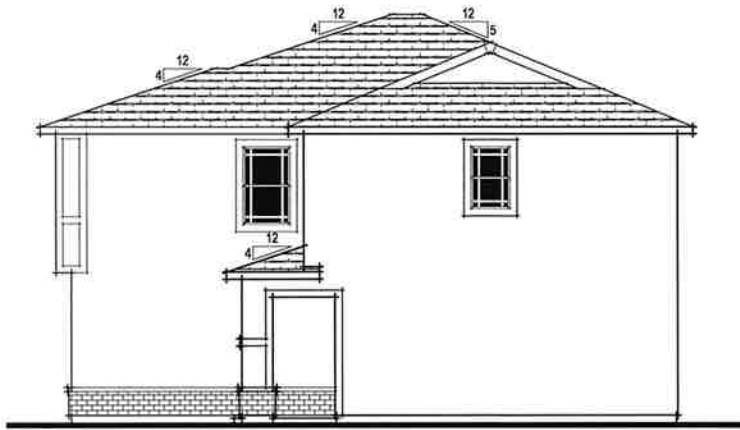
PLAN 1453

PLAN 1453
PRAIRIE ROOF PLAN



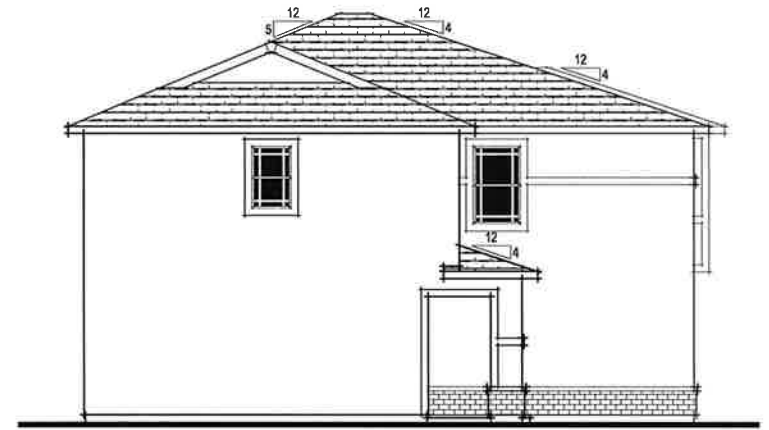
PLAN 1453

PLAN 1453
PRAIRIE REAR ELEVATION



PLAN 1453

PRAIRIE RIGHT ELEVATION



PLAN 1453

PRAIRIE LEFT ELEVATION



Stonebrook - Duets
Sparks, NV
January 12, 2021

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PRARIE ELEVATIONS
1453-1453-05

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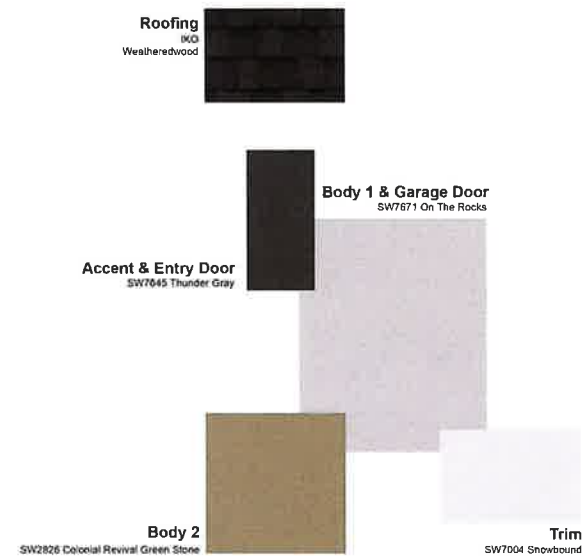
SCHEME 1 - FARMHOUSE



SCHEME 2 - FARMHOUSE



SCHEME 3 - FARMHOUSE



Stonebrook - Duets
Sparks, NV
January 12, 2021

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FARMHOUSE COLOR SCHEMES
CS-01

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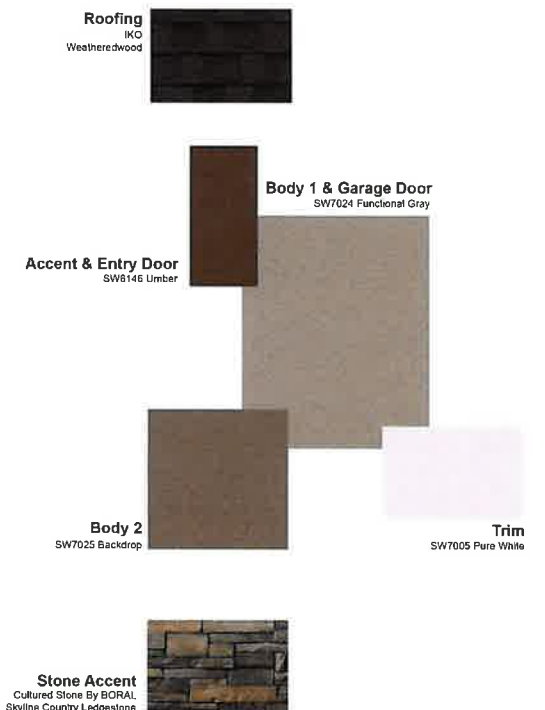
SCHEME 4 - CRAFTSMAN



SCHEME 5 - CRAFTSMAN



SCHEME 6 - CRAFTSMAN



Stonebrook - Duets
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January 12, 2021

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CRAFTSMAN COLOR SCHEMES
CS-02

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SCHEME 7 - PRAIRIE



SCHEME 8 - PRAIRIE



SCHEME 9 - PRAIRIE



Stonebrook - Duets
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January 12, 2021

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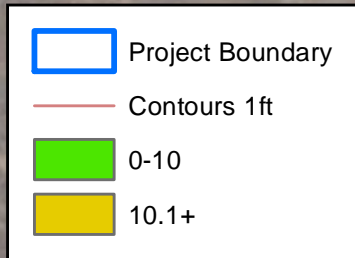
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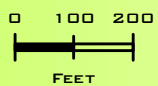
PRAIRIE COLOR SCHEMES
CS-03

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Slope (%)	Area (ac.)	% of Total
0-10	51.22	98.39
10.1+	0.84	1.61
TOTAL	52.06	100



Slope Map
STONEBROOK PHASE 3 VILLAGE AA BB
 Sparks, NV
 January 2021

WOOD RODGERS
 BUILDING RELATIONSHIPS ONE PROJECT AT A TIME
 1361 Corporate Boulevard
 Reno, NV 89502
 Tel: 775.823.4068
 Fax: 775.823.4068

LANDSCAPE LEGEND/REQUIREMENTS



GENERAL PLANTING REQUIREMENTS

- ALL PLANTING AND IRRIGATION SHALL BE INSTALLED PER LOCAL GOVERNING CODES.
- FINAL PLANT SELECTION AND LAYOUT WILL BE BASED ON SOUND HORTICULTURAL PRACTICES RELATING TO MICROCLIMATE, SOIL, AND WATER REGIMES. ALL TREES WILL BE STAKED SO AS TO REMAIN UPRIGHT AND PLUMB FOLLOWING INSTALLATION. PLANT SIZE AND QUALITY AT TIME OF PLANTING WILL BE PER CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
- ALL PLANTER BEDS WILL RECEIVE 4" MINIMUM DEPTH OF MULCH WITH WEED CONTROL.
- ALL LANDSCAPING WILL BE AUTOMATICALLY IRRIGATED UNLESS NOTED OTHERWISE ON THE PLAN. CONTAINER PLANTINGS WILL BE DRIP IRRIGATED. A REDUCED-PRESSURE-TYPE BACKFLOW PREVENTER WILL BE PROVIDED ON THE IRRIGATION SYSTEM AS REQUIRED PER CODE. NO TREES SHALL BE INSTALLED WITHIN ROADWAY SITE TRIANGLES.

LANDSCAPE REQUIREMENTS

COMMON AREA

- 1 TREE PER 333 SQ FT
- 0 SHRUBS PER TREE
- 70% MAXIMUM TURF AREA

TOWNHOMES

- 1 TREE PER STANDARD LOT - 2" MIN CAL.
- 2 TREES PER CORNER LOT - 2" MIN CAL.
- 12 5-GAL. SHRUBS
- GROUND COVER OR ADDITIONAL SHRUBS TO REACH 30% COVERAGE
- 70% MAXIMUM TURF AREA

PATIO HOMES (TYPICAL FRONT YARDS)

- 2 TREES PER STANDARD LOT WITH 50% @ 2" CAL., THE REMAINDER AT 1-1/2" CAL.; EVERGREEN TREES SHALL BE 6' MIN. HT.
- 3 TREES PER CORNER LOT, 40% AT 2" CAL., 60% AT 1-1/2" CAL.
- 8 5-GAL. SHRUBS
- 10 GROUND COVER SHRUBS
- *TURF AREA AND GROUND COVER SHALL TOTAL 90% IN 3 YARDS

ARTERIALS AND COMMUNITY COLLECTORS

- STREETSCAPE SHALL CONTAIN A MINIMUM OF THE FOLLOWING:
 - ONE 3" CALIPER DECIDUOUS TREE PER 30 FT OR 8 MIN HT. EVERGREEN TREE PER 30 FEET OF ROADWAY, PER SIDE, ADJACENT TO THE SIDEWALK IN MATCHING SPECIES.
 - SIX 5-GAL. SHRUBS PER TREE WILL BE PROVIDED WITHIN THE STREETSCAPE.
- USE OF TURF SHALL CONSTITUTE A MAXIMUM OF 30% OF COVERAGE OF THE LANDSCAPE AREA.
- GROUND COVER SHALL CONSTITUTE THE BALANCE OF THE LANDSCAPE AREA AND BE ONE GALLON OR FLAT SIZE FOR ORNAMENTAL GRASSES, PERENNIALS OR ORNAMENTAL GROUND COVERS SPECIFICALLY DESIGNED AND GROWN FOR INTERMOUNTAIN AND HIGH DESERT ENVIRONMENTS.

LANDSCAPE DATA

SITE AREA = 2,266,619 SQ FT (52.03 ACRES)
DISTURBED AREA = 1,858,166 SQ FT (42.66 ACRES)
TOTAL LOTS = 356
• TOWNHOMES = 181
• PATIO HOMES = 175

ZONING: LMDR (LOW DENSITY/MEDIUM DENSITY RESIDENTIAL)

PROPOSED LANDSCAPE AREA

- INCLUDES
 - COMMON AREA LANDSCAPING
 - FRONT YARDS IN VILLAGE AA
 - OPPIO RANCH PARKWAY STREETSCAPE (NORTH OF SIDEWALK ONLY)

UNDISTURBED OPEN SPACE = 408,452 SQ FT (9.38 ACRES)



L.A. Studio Nevada
the landscape architecture studio
Sarasota, FL 34231 (772) 323-2222
www.la-studio.com



Preliminary Landscape Plan
STONEBROOK VILLAGES AA & BB
Wood Rodgers
Washoe Co.

No.	Revision	Date

LA No. 022-452-00-20
Designed: KMD
Drawn: KMD
Checked: KMD
Date: 1/9/2021

From: [Rodela, Brett A](#)
To: [Reid, Sienna](#)
Cc: [Baxley, Randy](#); [Freund, Sandy](#)
Subject: Development Review PCN20-0044 / STM20-0008 (Stonebrook Villages AA and BB)
Date: Wednesday, January 6, 2021 11:32:35 AM

Hello, Sienna,

Stonebrook Villages AA and **BB** are zoned for Bohach Elementary School, Sky Ranch Middle School, and Spanish Springs High School. 356 proposed mixed single-family and townhome units are calculated to generate 63, 30, and 28 students respectively.

The following table outlines current and future-projected enrollment capacity percentages for each school:

School	2020/21	2024/25	2029/30
Bohach ES	82%*	97%	113%
Sky Ranch MS	92%**	104%	114%
Spanish Springs HS	111%***	81%	92%

****As of December 2nd, 2020, All Middle Schools and High Schools are conducting 100% Distance Learning. Elementary Schools are conducting In-Person and providing Distance Learning to student-families who have optioned it. Students who have optioned in-person classes at the Secondary School level will return to school Tuesday January 19th, 2021.

*82% reflects total student enrollment at Bohach. Current records indicate that 67% of Bohach's student capacity is attending class in-person while 16% is optioning distance learning.

**92% reflects total student enrollment at Sky Ranch. Current records indicate that 67% of Sky Ranch's student capacity has opted in-person classes while 25% is optioning distance learning.

***111% reflects total student enrollment at Spanish Springs. Current records indicate that 75% of Spanish Springs's student capacity has opted in-person classes while 36% is optioning distance learning.

The school district owns a 10.5 acre property to the southwest of this project area. That property will be purposed as an elementary school as student generation as a result of area development prompts its development and resources provide and will aid in relieving future anticipated overcrowding at Bohach.

Pertaining to higher capacities looking into the future at Sky Ranch Middle School, the school district may have the option to construct additions to current facilities at Sky Ranch and/or implement enrollment boundary changes to assist in alleviating higher enrollments.

Spanish Springs High School will receive enrollment relief with the opening of New Hug High School in the Fall of 2022.

With the passing of WC-1 in November of 2016, the school district has a steady revenue stream for

meeting facilities demands presented by residential growth throughout the region.

Thank you and please respond with any further questions, comments, or requests pertaining to **PCN20-0045 / AR20-0034 (Stonebrook Villages AA and BB)**.

Brett A. Rodela

GIS Analyst

Washoe County School District

Office: (775) 325-8303 | Cell: (775) 250-7762





STEVE SISOLAK
Governor

STATE OF NEVADA
DEPARTMENT OF TRANSPORTATION
1263 S. Stewart Street
Carson City, Nevada 89712

KRISTINA L. SWALLOW, P.E., *Director*

January 4, 2021

City of Sparks
Planning & Community Services Department
431 Prater Way
Sparks, NV 89431
Attention: Sienna Reid – Planner

RE: PCN20-0044 / STM20-0008 Stonebrook Phase 3 – Villages AA and BB

Dear Ms. Reid,

Nevada Department of Transportation (NDOT) District II staff have reviewed the following project tentatively scheduled to be reviewed by the Sparks Planning and Community Services Department on January 6, 2021 and provided comments accordingly.

PCN20-0044 / STM20-0008 (Stonebrook Phase 3 Villages AA and BB) – A request for a Tentative Map for a 356-lot mixed single-family and townhome subdivision on a site approximately 52.07 acres in size generally located southeast of the intersection of Pyramid Highway and La Posada Drive, Sparks, Nevada in the NUD (New Urban District – Stonebrook Planned Development) zoning district.

NDOT comments:

1. While the project is not adjacent to Pyramid Way, the traffic study contemplates future connections to Pyramid Way and identifies that trips generated by the project will have an impact on Pyramid Way. Pyramid Way is a State-owned roadway officially designated as State Route 445 (SR-445) and functionally classified as an urban principal arterial.
2. The NDOT occupancy permit for the proposed connections to SR-445 is currently in review. If any improvements are proposed within the State right of way that are not a part of the NDOT occupancy permit currently in review, an additional occupancy permit or an amendment of the in-process permit would be required. Please contact the NDOT District II Permits Office at (775) 834-8330 for more information relating to occupancy permits.

Thank you for the opportunity to review these projects. NDOT reserves the right to incorporate further changes and/or comments as these applications and design reviews

progress. Should you have any questions, please contact Alex Wolfson at (775) 834-8365.

Sincerely,


DocuSigned by:



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Tara Smaltz, PE
Engineering Services Manager

DocuSigned by:



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Alex Wolfson, PE, PTOE
Traffic Engineer

Cc: Rebecca Kapuler – Regional Transportation Commission
Dale Keller, PE – Regional Transportation Commission
Mike Fuess, PE, PTOE – NDOT District Engineer
File



REGIONAL TRANSPORTATION COMMISSION

Metropolitan Planning • Public Transportation & Operations • Engineering & Construction

Metropolitan Planning Organization of Washoe County, Nevada

January 5, 2021

FR: Chrono/PL 181-20

Ms. Reid
Planning and Community Services Department
City of Sparks
431 Prater Way
Sparks, NV 89431

Dear Ms. Reid

RE: **PCN20-0044 / STM20-0008** (Stonebrook Villages AA and BB)

The Regional Transportation Commission (RTC) has reviewed this for a Tentative Map for a 356-lot mixed single-family and townhome subdivision on a site approximately 52.07 acres in size generally located southeast of the intersection of Pyramid Highway and La Posada Drive, Sparks, Nevada in the NUD (New Urban District – Stonebrook Planned Development) zoning district.

Review of the Trip Generation Letter for Stonebrook Villages AA, BB (356 units) concluded that the development will not have a detrimental impact to traffic circulation around the development. The current proposed Stonebrook PUD consisting of 1,703 lots is still less than the expected 1,935 lots expected in the Stonebrook Traffic Masterplan. No further comments.

It is recommended that this development be required to provide a 10-space Park-n-Ride for the residents of the development. This is a way to promote and encourage carpooling and it is beneficial to help reduce air pollution and traffic congestion as well as vanpools for commuting. For information on the Smart Trips program, please contact Scott Miklos, Trip Reduction Analyst at 775-335-1920 or email him at smiklos@rtcwashoe.com

The RTP, RTC Bicycle/Pedestrian Master Plan and the Nevada Department of Transportation Pedestrian Safety Action Plan, all indicate that new development and re-development will be encouraged to construct pedestrian and bicycle facilities, internal and/or adjacent to the development, within the regional road system. In addition, these plans recommend that the applicant be required to design and construct any sidewalks along the frontage of the property in conformance with the stated ADA specifications.

Thank you for the opportunity to comment on this application. Please feel free to contact me at 775-332-0174 or email me at rkapuler@rtcwashoe.com if, you have any questions or comments.

Sincerely,

A handwritten signature in black ink that reads "Rebecca Kapuler". The signature is fluid and cursive, with the first name "Rebecca" and last name "Kapuler" clearly distinguishable.

Rebecca Kapuler
Senior Planner

Attachment

Amber Sosa, City of Sparks
Dale Keller, Regional Transportation Commission
Tina Wu, Regional Transportation Commission
Andrew Jankayura, Regional Transportation Commission
Scott Miklos, Regional Transportation Commission

/ Stonebrook Villages AA and BB